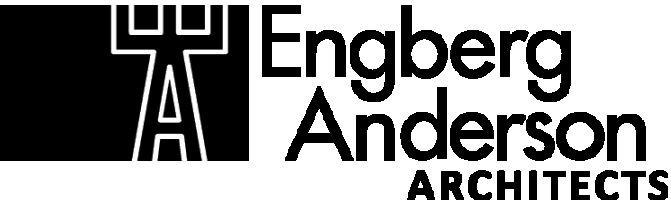


WARNER PARK COMMUNITY RECREATION CENTER EXPANSION

CITY OF MADISON PARKS DIVISION

1625 NORTHPORT DRIVE
MADISON, WI 53704



MILWAUKEE | MADISON | CHICAGO

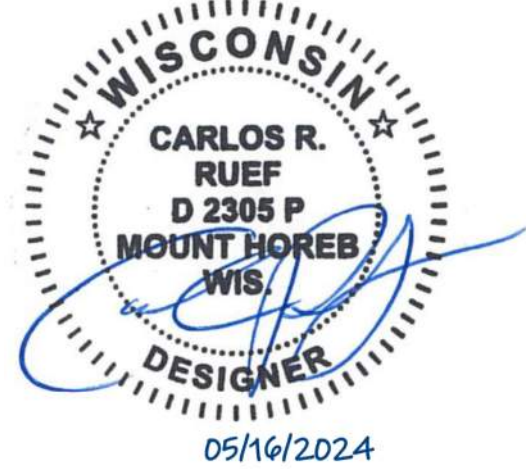
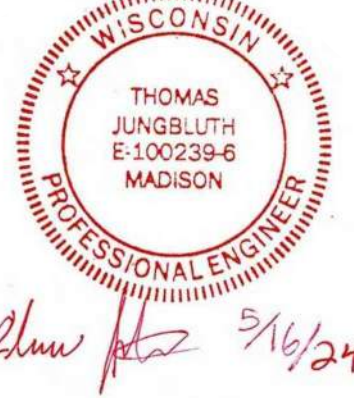
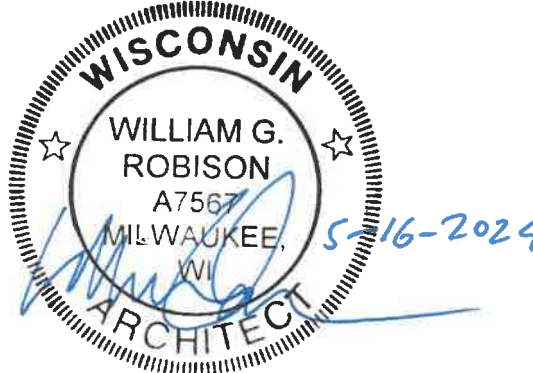
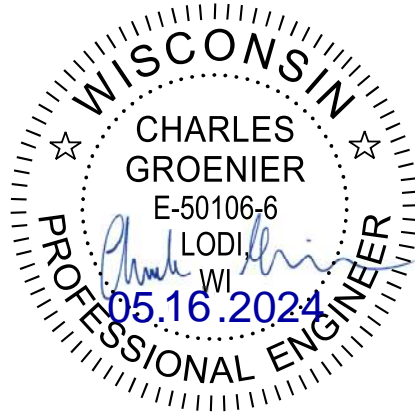
PROJECT

SEAL

CONSULTANTS

DRAWINGS

SITE LOCATION MAP



WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704
CITY OF MADISON PARKS DIVISION
330 EAST LAKESIDE STREET
MADISON, WI 53715

PROJECT NUMBER 223471.00

CIVIL

JSD PROFESSIONAL SERVICES, INC.
507 W VERONA AVE #500
VERONA, WI 53593
PH 608-848-5060

LANDSCAPE

JSD PROFESSIONAL SERVICES, INC.
161 HORIZON DR #101
VERONA, WI 53593
PH 608-848-5060

ARCHITECTURAL

ENGBERG ANDERSON, INC.
305 W WASHINGTON AVE
MADISON, WI 53703
PH 608-250-0100

STRUCTURAL

ONEIDA TOTAL INTEGRATED ENTERPRISES
1033 N MAYFAIR RD #200
MILWAUKEE, WI 53226
PH 414-257-4200

FIRE PROTECTION

JDR ENGINEERING, INC.
5525 NOBEL DR #110
MADISON, WI 53711
PH 608-277-1728

PLUMBING

JDR ENGINEERING, INC.
5525 NOBEL DR #110
MADISON, WI 53711
PH 608-277-1728

MECHANICAL

JDR ENGINEERING, INC.
5525 NOBEL DR #110
MADISON, WI 53711
PH 608-277-1728

ELECTRICAL

JDR ENGINEERING, INC.
5525 NOBEL DR #110
MADISON, WI 53711
PH 608-277-1728

EXHIBIT A - DRAWINGS VOLUME 1

G000	TITLE SHEET
G001	CODE CONFORMANCE
1 OF 1	BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY
C100	NOTES & LEGEND
C200	DEMOLITION PLAN
C300	OVERALL SITE PLAN
C301	SITE PLAN
C400	GRADING & EROSION CONTROL PLAN
C500	UTILITY PLAN
C600	DETAILS
C601	DETAILS

L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS & NOTES

D101	DEMOLITION PLAN
D400	DEMOLITION ELEVATIONS
A100	OVERALL FLOOR PLAN
A101	EXPANSION FLOOR PLAN
A201	EXPANSION ROOF PLAN
A301	EXPANSION REFLECTED CEILING PLAN
A400	EXTERIOR ELEVATIONS
A500	BUILDING SECTIONS
A510	WALL SECTIONS
A511	WALL SECTIONS
A512	WALL SECTIONS
A600	EXTERIOR DETAILS
A601	EXTERIOR DETAILS
A602	EXTERIOR DETAILS
A603	EXTERIOR DETAILS
A604	EXTERIOR DETAILS
A610	DOOR SCHEDULE & WALL TYPES
A700	FINISH PLANS & SCHEDULE
A800	ENLARGED PLANS & INTERIOR ELEVATIONS
A801	INTERIOR ELEVATIONS
A810	INTERIOR DETAILS
A811	INTERIOR DETAILS
A812	INTERIOR DETAILS

S001	STRUCTURAL NOTES
S002	STRUCTURAL SCHEDULES
S200	FOUNDATION PLAN - EXPANSION
S201	ROOF FRAMING PLAN - EXPANSION
S800	STRUCTURAL DETAILS
S801	STRUCTURAL DETAILS
S802	STRUCTURAL DETAILS
S803	STRUCTURAL DETAILS

EXHIBIT B - DRAWINGS VOLUME 2

G000	TITLE SHEET
G001	CODE CONFORMANCE
F000	SYMBOLS, ABBREVIATIONS, DETAILS & SCHEDULES - FIRE PROTECTION
F101	FIRST FLOOR DEMOLITION PLAN - FIRE PROTECTION
F201	FIRST FLOOR PLAN - FIRE PROTECTION

P000	SYMBOLS & ABBREVIATIONS - PLUMBING
P100	UNDERFLOOR DEMOLITION PLAN - PLUMBING
P101	FIRST FLOOR DEMOLITION PLAN - PLUMBING
P200	OVERALL UNDERFLOOR PLAN - PLUMBING
P201	PARTIAL ENLARGED UNDERFLOOR PLAN - PLUMBING
P202	OVERALL FIRST FLOOR PLAN - PLUMBING
P203	PARTIAL ENLARGED FIRST FLOOR PLAN - PLUMBING
P204	PARTIAL ROOF PLAN - PLUMBING
P301	ENLARGED PLANS - PLUMBING
P400	SANITARY WASTE, VENT & STORM ISOMETRIC - PLUMBING
P410	DOMESTIC WATER ISOMETRIC - PLUMBING
P801	SCHEDULES - PLUMBING
P901	DETAILS - PLUMBING

M000	SYMBOLS & ABBREVIATIONS - HVAC
M101	FIRST FLOOR PARTIAL DEMOLITION PLAN - HVAC
M200	OVERALL FIRST FLOOR PLAN - HVAC
M201	FIRST FLOOR EXPANSION PLAN - HVAC
M202	FIRST FLOOR EXISTING PLAN - HVAC
M300	ENLARGED NORTH MECHANICAL MEZZANINE PLANS - HVAC
M301	ENLARGED SOUTH MECHANICAL MEZZANINE PLANS - HVAC
M302	ENLARGED MECHANICAL ROOM PLAN - HVAC
M400	SECTIONS - HVAC
M401	SECTIONS - HVAC
M500	FLOW DIAGRAMS DEMOLITION - HVAC
M501	FLOW DIAGRAMS - HVAC
M502	FLOW DIAGRAMS & CONTROL DIAGRAMS - ALTERNATE BID #2 - HVAC
M600	CONTROL SCHEMATICS - HVAC
M601	CONTROL SCHEMATICS - HVAC
M602	CONTROL SCHEMATICS - HVAC
M603	CONTROL SCHEMATICS - HVAC
M800	SCHEDULES - HVAC
M900	DETAILS - HVAC
M901	DETAILS - HVAC
M902	DETAILS - HVAC
MS200	GEOTHERMAL SITE PLAN - HVAC

E000	SYMBOLS, ABBREVIATIONS & DETAILS - ELECTRICAL
E100	OVERALL FIRST FLOOR DEMOLITION PLAN - POWER AND SYSTEMS
E101	FIRST FLOOR PARTIAL DEMOLITION PLAN - LIGHTING
E200	OVERALL FIRST FLOOR PLAN - POWER AND SYSTEMS
E201	PARTIAL FIRST FLOOR PLAN - POWER AND SYSTEMS
E202	PARTIAL FIRST FLOOR PLAN - LIGHTING
E300	LARGE SCALE PLANS - ELECTRICAL
E301	LARGE SCALE PLANS - NORTH MEZZANINE
E302	LARGE SCALE PLANS - SOUTH MEZZANINE
E600	ONE-LINE DIAGRAM - EXISTING/DEMOLITION
E601	ONE-LINE DIAGRAM - EXISTING/NEW WORK
E800	SCHEDULES - CONNECTIONS
E801	SCHEDULES - EQUIPMENT AND LIGHTING
E802	SCHEDULES - PANELS
E803	SCHEDULES - PANELS
E804	SCHEDULES - PANELS
E900	DETAILS - ELECTRICAL

ISSUED FOR:

BID SET 5/16/2024

REVISION FOR:

NO.	DESCRIPTION	DATE
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DRAWN BY DKB

CHECKED BY JWH

TITLE SHEET

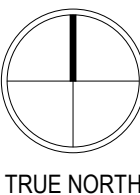
EXTERIOR RENDERING



PROJECT LOCATION



BUILDING ADDRESS:
1625 NORTHPORT DRIVE
MADISON, WI 53704

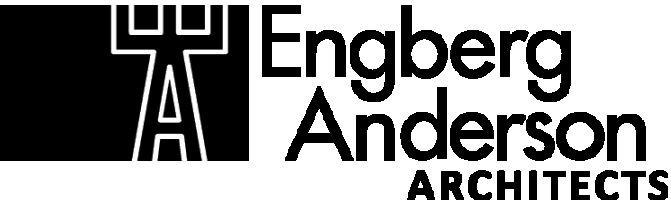


G000

APPLICABLE CODES	
ZONING CODE	CITY OF MADISON ZONING CODE
BUILDING CODE	WISCONSIN SPS 362 / 2015 IBC
EXISTING BUILDING CODE	WISCONSIN SPS 366 / 2015 IEBC
ACCESSIBILITY CODE	2009 ICC A117.1
FIRE SAFETY CODE	WISCONSIN SPS 314 / 2012 NFPA 1
PLUMBING CODE	WISCONSIN SPS 381-387
ELECTRICAL CODE	WISCONSIN SPS 316 / 2017 NEC / 2017 NFPA 70
MECHANICAL CODE	WISCONSIN SPS 364 / 2015 IMC
ENERGY CODE	WISCONSIN SPS 363 / 2015 IECC
ZONING	
CLASSIFICATION	PR PARKS AND RECREATION
PERMITTED USE	CONDITIONAL USE AS A COMMUNITY CENTER
MINIMUM LOT SIZE	5 ACRES
MAXIMUM HEIGHT	2 STORIES / 35' (MAXIMUM HEIGHT MAY BE EXCEEDED WITH CUP APPROVAL)
SETBACKS REQUIRED	
FRONT YARD	30'
SIDE YARD	30'
REAR YARD	30'
PARKING	
# OF SPACES REQ'D	STAFF TO PROVIDE DETERMINATION IN PR DISTRICT, DEPENDING UPON USE PROPOSED
# OF SPACES PROVIDED	78
NOTES	
1. EXISTING OCCUPANCY, OCCUPANT LOAD, AND MEANS OF EGRESS TO REMAIN UNLESS NOTED OTHERWISE.	
2. BUILDING PERIMETER IS GREATER THAN 30' FROM CLOSEST INTERIOR LOT LINE. ENTIRE WIDTH OF NEAREST PUBLIC WAY, AND ANY ADJACENT BUILDINGS. SEE BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY FOR ADDITIONAL INFORMATION.	
3. GRADE PLANE PER IBC CHAPTER 2 = EL. 105'-0"	

BUILDING DATA			
DATE OF ORIGINAL CONSTRUCTION	1998		
OCC. CLASSIFICATION	A-3 (COMMUNITY HALL), B ACCESSORY (EXISTING)		
CONSTRUCTION TYPE	IIB (EXISTING)		
ALTERATION TYPE	ADDITION + LEVEL 2 ALTERATION		
SPRINKLERED	YES - NFPA 13		
FIRE ALARM	YES - COMPLIANT WITH IBC 907.5.2.2		
BUILDING HEIGHT (NEW CONSTRUCTION)	25'-3" ABOVE GRADE PLANE		
NUMBER OF STORIES	1 (EXISTING MEZZANINES)		
SQUARE FEET/ FLOOR	ALLOWABLE	ACTUAL	
FIRST FLOOR	38,000 SF + 9,500 SF = 47,500 SF	42,940 SF	
	100% FRONTAGE INCREASE		
CONSTRUCTION REQUIREMENTS			
EXT. WALLS-NON BEARING	0 - HR		
STRUCTURAL FRAME	0 - HR		
PARTITIONS	0 - HR		
SHAFT ENCLOSURES	1 - HR LESS THAN FOUR STORIES		
FLOOR/CEILING	0 - HR		
ROOF/CEILING	0 - HR		
ROOFING CLASSIFICATION	CLASS C		
ENERGY			
CLIMATE ZONE	6		
ENVELOPE REQUIREMENTS	R-VALUE	U-FACTOR	PROVIDED
ROOF	20	0.048	R-35
WALLS	13.3	0.080	R-20
BELOW GRADE	7.5	0.119 (C-VALUE)	R-20
UNHEATED SLAB-ON-GRADE	10 @ 24" BELOW	0.54 (F-VALUE)	R-20 @ 48" BELOW
DOORS	0.70		U-0.70
FENESTRATION REQUIREMENTS	SHGC SEW	SHGC N	U-FACTOR
FIXED	0.40	0.53	0.36
			U-0.20, SHGC 0.37

MEANS OF EGRESS					
OCCUPANT LOAD		1657 OCCUPANTS			
EXITS PER STORY REQ'D		4			
EXITS PER STORY PROVIDED		5			
EXIT DOOR WIDTH REQ'D		249"			
EXIT DOOR WIDTH PROVIDED		366"			
EXIT ACCESS TRAVEL DISTANCE REQ'D		250'			
EXIT ACCESS TRAVEL DISTANCE PROVIDED		SEE CODE CONFORMANCE PLAN			
PLUMBING					
IEBC 810.1 / IBC TABLE 2902.1					
FIXTURES	OCCUPANT LOAD		REQUIREMENTS	REQUIRED	PROVIDED
WATER CLOSETS	MEN	829	1 PER 125 OCCUPANTS	7	8
	WOMEN	829	1 PER 65 OCCUPANTS	13	9 + 4 UNISEX
				20	21
LAVATORIES	MEN	829	1 PER 200 OCCUPANTS	5	5
	WOMEN	829	1 PER 200 OCCUPANTS	5	5 + 4 UNISEX
				10	14
DRINKING FOUNTAINS	1657		1 PER 500 OCCUPANTS	4	5
SERVICE SINKS				1	2
NOTES					
1. FAMILY OR ASSISTED-USE TOILET ROOMS ARE PERMITTED TO BE INCLUDED IN THE NUMBER OF FIXTURES FOR MALE OR FEMALE OCCUPANTS IN ASSEMBLY OCCUPANCIES PER IBC 2902.1.2.					
2. URINALS MAY BE SUBSTITUTED FOR UP TO 67 PERCENT OF REQUIRED WATER CLOSETS IN ASSEMBLY OCCUPANCIES PER IPC 419.2 (REFERENCED IN IBC TABLE 2902.1).					



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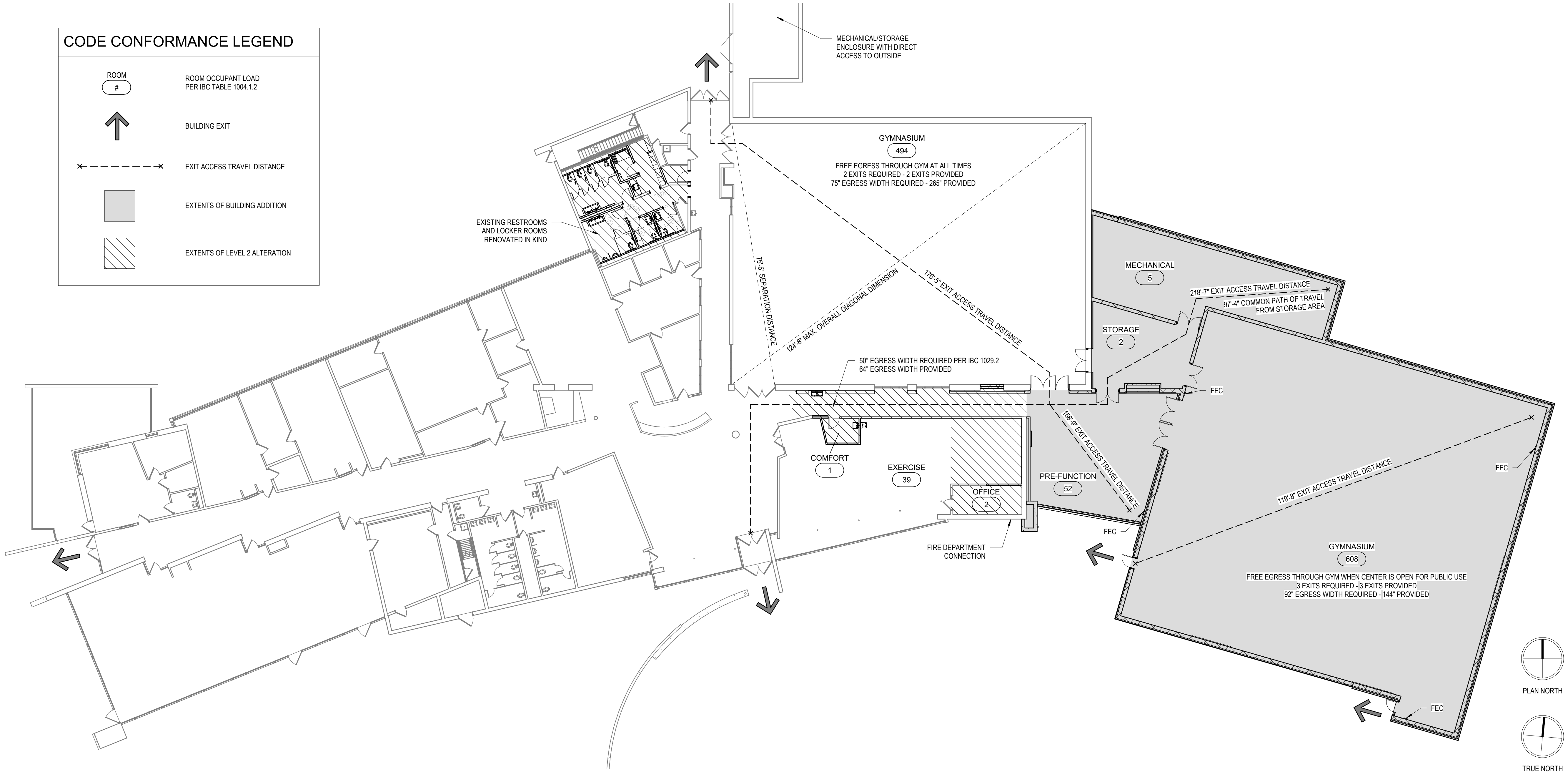
WARNER PARK COMMUNITY RECREATION CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704
CITY OF MADISON PARKS DIVISION
330 EAST LAKESIDE STREET
MADISON, WI 53715

PROJECT NUMBER 223471.00

CODE CONFORMANCE LEGEND

ROOM #	ROOM OCCUPANT LOAD PER IBC TABLE 1004.1.2
↑	BUILDING EXIT
✕ - - - - ✕	EXIT ACCESS TRAVEL DISTANCE
■	EXTENTS OF BUILDING ADDITION
▨	EXTENTS OF LEVEL 2 ALTERATION



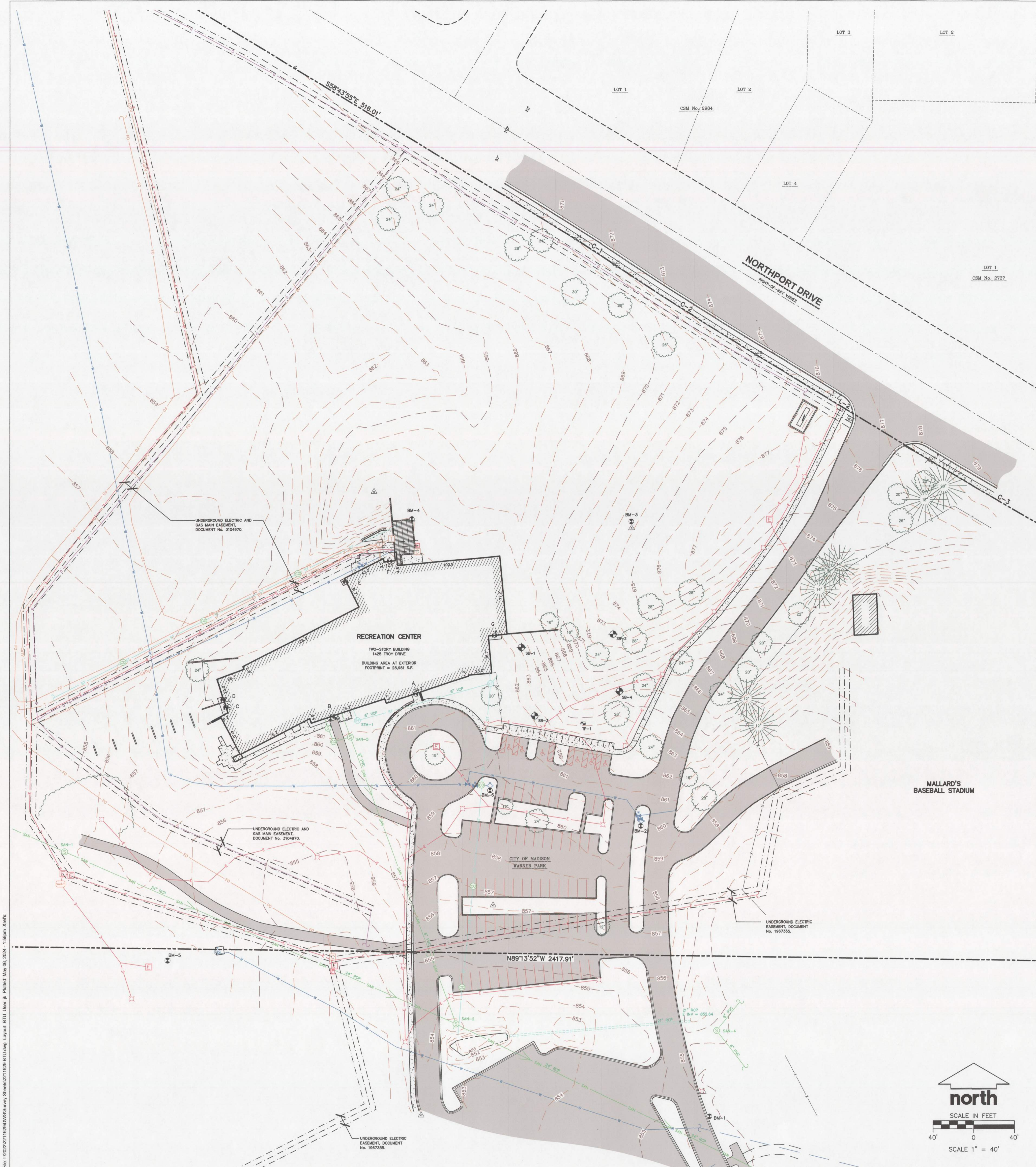
ISSUED FOR:		
BID SET		5/16/2024
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REVISION FOR:		
NO.	DESCRIPTION	DATE

DRAWN BY	DKB
CHECKED BY	JWH

CODE CONFORMANCE

G001

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BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY

PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

LEGEND

GOVERNMENT CORNER	VAULT	SANITARY SEWER
BENCHMARK	TELEPHONE MANHOLE	WATER LINE
FINISHED FLOOR SHOT LOCATION	TELEPHONE PEDESTAL	STORM SEWER
SOIL BORING	CABLE PEDESTAL	NATURAL GAS
TEST PIT	DECIDUOUS TREE	UNDERGROUND ELECTRIC
BOLLARD	CONIFEROUS TREE	FIBER OPTIC
SOIL	HANDICAP PARKING	UNDERGROUND TELEPHONE
SANITARY MANHOLE	PARCEL BOUNDARY	UNDERGROUND CABLE
CLEAN OUT	SECTION LINE	BUILDING
HYDRANT	RIGHT-OF-WAY LINE	EDGE OF WOODS OR BUSH
WATER VALVE	CENTERLINE	INDEX CONTOUR
STORM MANHOLE	PLATTED LOT LINE	INTERMEDIATE CONTOUR
ELECTRIC TRANSFORMER	FENCE LINE	BITUMINOUS PAVEMENT
ELECTRIC PEDESTAL	GUARD OR SAFETY RAIL	CONCRETE PAVEMENT
LIGHT POLE	CONCRETE CURB & GUTTER	GRAVEL
TRAFFIC SIGNAL	EDGE OF GRAVEL	RETAINING WALL
		PAVEMENT STRIPING
		END OF FLAGGED UTILITIES

NOTES

- FIELD WORK PERFORMED ON FEBRUARY 15, 16, 17 AND 21, 2023.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (COUNTY) ZONE THE SOUTHERLY LINE OF LOT 0, CSM NO. 0000, RECORDED AS 500'00'00"W.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MARKING THE NORTH QUARTER CORNER OF SECTION 36, TOWN, R09E, ELEVATION = 861.80'
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET No.'s 20230503382 AND 20230503391, WITH A CLEAR DATE OF FEBRUARY 6, 2023.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MADISON ENGINEERING
CITY OF MADISON PARKS DIVISION
MADISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS)
CHARTER COMMUNICATIONS
EVERSTREAM
MCI
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- SITE PLAN RECORDS WERE REQUESTED FROM THE CITY OF MADISON PARKS DEPARTMENT.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
- NO TITLE DOCUMENTS WERE SUPPLIED BY THE CITY. THE PROPERTY BOUNDARY IS BASED UPON TAX PARCEL DESCRIPTION.

LEGAL DESCRIPTION (AS SURVEYED)

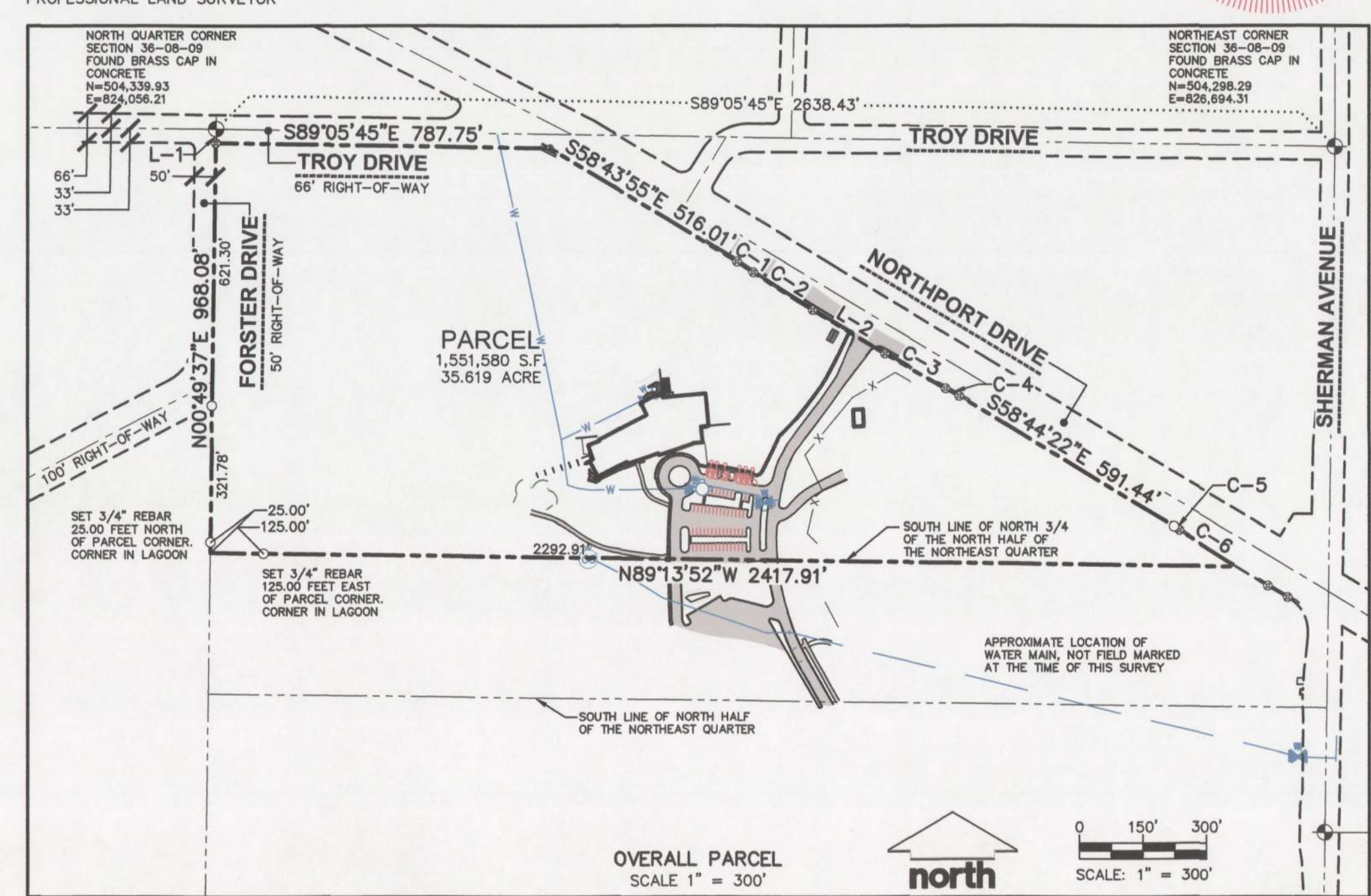
PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 08 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 36, AFORSAID; THENCE SOUTH 00 DEGREES 49 MINUTES 37 SECONDS WEST ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 36, AFORSAID, 33.00 FEET TO THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF TROY DRIVE AND THE EAST RIGHT-OF-WAY LINE OF FORSTER DRIVE, ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 05 MINUTES 45 SECONDS EAST ALONG THE SOUTH LINE OF TROY DRIVE, 787.75 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF NORTHPORT DRIVE; THENCE SOUTH 58 DEGREES 43 MINUTES 55 SECONDS EAST ALONG SAID LINE, 516.01 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY 45.72 FEET ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2474.00 FEET, THE CHORD BEARS SOUTH 56 DEGREES 44 MINUTES 50 SECONDS EAST, 45.72 FEET TO A POINT OF REVERSE CURVE; THENCE SOUTHEASTERLY 165.53 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 3778.00 FEET, THE CHORD BEARS SOUTH 57 DEGREES 28 MINUTES 23 SECONDS EAST, 165.52 FEET; THENCE SOUTH 58 DEGREES 43 MINUTES 41 SECONDS EAST, 200.00 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY 165.14 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 3778.00 FEET, THE CHORD BEARS SOUTH 59 DEGREES 58 MINUTES 49 SECONDS EAST, 165.13 FEET TO A POINT OF REVERSE CURVE; THENCE SOUTHEASTERLY 36.97 FEET ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2485.00 FEET, THE CHORD BEARS SOUTH 50 DEGREES 48 MINUTES 23 SECONDS EAST, 36.97 FEET; THENCE SOUTH 58 DEGREES 44 MINUTES 22 SECONDS EAST, 591.44 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY 14.93 FEET ALONG AN ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2443.50 FEET, THE CHORD BEARS SOUTH 55 DEGREES 59 MINUTES 17 SECONDS EAST, 14.93 FEET TO A POINT OF REVERSE CURVE; THENCE SOUTHEASTERLY 158.66 FEET ALONG AN ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 3778.50 FEET, THE CHORD BEARS SOUTH 57 DEGREES 01 MINUTES 00 SECONDS EAST, 158.64 FEET; THENCE NORTH 89 DEGREES 13 MINUTES 52 SECONDS WEST, 2417.91 FEET TO THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 36, AFORSAID; THENCE NORTH 00 DEGREES 49 MINUTES 37 SECONDS EAST ALONG SAID LINE, 968.08 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1,551,580 SQUARE FEET OR 35.619 ACRES.

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT UNDER THE DIRECTION OF CITY OF MADISON ENGINEERING DEPARTMENT, THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLES WITH WISCONSIN ADMINISTRATIVE CODE A-67 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

AD-K8 *5/6/24*
JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR



STORM SEWER MANHOLES					
STRUCT. ID	RM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE	
STM-1	861.30	NW 854.95 NE 854.90	8" 6"	VCP VCP	

SANITARY SEWER MANHOLES					
STRUCT. ID	RM ELEVATION	INVERT ELEVATION	PIPE SIZE	PIPE TYPE	
SAN-1	855.66	NW 843.28 SE 843.11	24" 24"	RCP RCP	
SAN-2	854.55	NW 842.75 NE 844.95 SW 846.95	24" 6" 6"	RCP PVC PVC	
SAN-3	855.24	SE 842.65 NW 842.14 NE 844.64	24" 24" 6"	RCP RCP PVC	
SAN-4	855.75	SE 842.04 NE 849.35 S 849.20	24" 6" 6"	RCP PVC PVC	
SAN-5	860.83	NW 853.73 SW 853.63	6" 6"	PVC PVC	

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	854.82	MAG NAIL IN LIGHT POLE BASE
BM-2	863.56	TOP NUT ON HYDRANT BY ENTRANCE TO PARKING LOT
BM-3	874.02	No. 6 REBAR EAST OF BUILDING
BM-4	869.99	MAG NAIL IN WALL, NORTH SIDE OF BUILDING
BM-5	858.34	MAG NAIL IN CONCRETE BASE OF BENCH
BM-6	860.32	TOP NUT ON HYDRANT SOUTH OF BUILDING

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S00°49'37"W	33.00'
L-2	S58°43'41"E	200.00'

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C-1	45.72'	2474.00'	1°03'32"	S56°44'50"E 45.72'
C-2	165.53'	3778.00'	2°30'38"	S57°28'23"E 165.52'
C-3	165.14'	3778.00'	2°30'16"	S59°58'49"E 165.13'
C-4	36.97'	2485.00'	0°51'09"	S60°48'23"E 36.97'
C-5	14.93'	2443.50'	0°21'00"	S55°59'17"E 14.93'
C-6	158.66'	3778.50'	2°24'25"	S57°01'00"E 158.64'

FINISHED FLOOR ELEVATIONS		
DOORWAY	ELEVATION	DESCRIPTION
A	861.9	DOOR SILL
B	861.9	DOOR SILL
C	862.0	DOOR SILL
D	862.0	DOOR SILL
E	861.9	DOOR SILL
F	861.9	DOOR SILL
G	861.9	DOOR SILL



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CITY OF MADISON
ENGINEERING
DEPARTMENT

CLIENT ADDRESS:
210 MARTIN LUTHER KING JR BLVD
MADISON, WI 53703-3342

PROJECT:
WARNER PARK
COMMUNITY
RECREATIONAL CENTER

PROJECT LOCATION:
EXPANSION
CITY OF MADISON
DANE COUNTY, WI



MODIFICATIONS:	
#	Description
1	05/06/24 ADDED EASEMENTS
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	

Prepared By: JK 02/21/23
Reviewed By: TJB 02/24/23
Approved By: TJB 02/24/23

SHEET TITLE:
BOUNDARY,
TOPOGRAPHIC
AND UTILITY
SURVEY

SHEET NUMBER:
1 OF 1

PROJECT NO: 22-11629S

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WARNER PARK COMMUNITY RECREATION CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704

CITY OF MADISON PARKS DIVISION
CITY-COUNTY BUILDING, ROOM 104
210 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703

PROJECT NUMBER 223471.00

ISSUED FOR:

BID SET 05/16/2024

REVISION FOR:

NO. DESCRIPTION DATE

DRAWN BY CHG/MRA

CHECKED BY KJY

NOTES & LEGEND

C100



Toll Free (800) 242-8511

GENERAL NOTES

1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND MUNICIPAL REQUIREMENTS.
3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GRIND TO PROPOSED SUBGRADE.
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
5. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - 7.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - 7.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - 7.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - 7.4. NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
8. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
9. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
10. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
12. ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
13. ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
14. EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
15. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DEBRIS, AND DUST

CITY TRAFFIC ENGINEERING NOTES

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BUY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

CITY FORESTRY NOTES

1. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
2. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
3. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
4. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY THE CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
5. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
6. STREET TREE PRUNING SHALL BE COORDINATED WITH MADISON FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
7. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

PAVING NOTES

1. GENERAL
 - 1.1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY CGC, INC. DATED 8/5/2022.
 - 1.2. ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - 1.3. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - 1.4. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
2. ASPHALTIC CONCRETE PAVING SPECIFICATIONS
 - 2.1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - 2.2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - 2.3. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION
 - 2.4. CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - 2.5. BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - 2.6. SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - 2.7. ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
3. CONCRETE PAVING SPECIFICATIONS
 - 3.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.2. CONCRETE PAVEMENT SHALL BE REINFORCED WITH WELDED WIRE MESH 6"x6" W2.9XW2.9 WWF.
 - 3.3. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - 3.4. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - 3.5. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - 3.6. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - 3.7. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-260V CONCRETE SEALANT.
4. PAVEMENT MARKING SPECIFICATIONS
 - 4.1. USE 4" WIDE, HIGH VISIBILITY WHITE LATEX PAINT FOR STALL LINES.
 - 4.2. MARK AND STRIPE AREA PARKING SPACES APPROPRIATELY.
 - 4.3. ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 4.4. 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

GRADING AND SEEDING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
3. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
4. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
5. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
6. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
7. CONTRACTOR SHALL CHISEL-PLOW OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
8. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
9. CONTRACTOR TO DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
10. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
11. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF MADISON ORDINANCE.

CONSTRUCTION SEQUENCING

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BUY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT.

UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
4. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MADISON SPECIAL PROVISIONS.
5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
6. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.

FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	REJECT CURB AND GUTTER
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPOSED 1 FOOT CONTOUR
	PROPOSED 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	GRADE BREAK
	STORMWATER MANAGEMENT AREA
	LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
	ADA PARKING SIGN
	BIKE RACK
	TREE REMOVAL
	SHRUB REMOVAL
	SAWCUT EXISTING PAVEMENT
	STORM SEWER
	SILT FENCE
	RIP-RAP
	CONSTRUCTION ENTRANCE
	EROSION MATTING
	TURF REINFORCEMENT MATTING
	SPOT ELEVATION EP - EDGE OF PAVEMENT FG - FINISH GRADE EC - EDGE OF CONCRETE BOC - BACK OF CURB MATCH - MATCH EXISTING GRADE HP - HIGH POINT SW - SIDEWALK

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF MADISON OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MADISON ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
5. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND POINTS, ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MADISON PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEPT FOR EROSION. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MADISON.
9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER".
11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
15. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
16. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
17. STABILIZATION PRACTICES:
 - 17.1. *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 17.2. *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - 17.4. *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - * PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - * TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LB/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - * HYDRO-MULCHING WITH A TACKIFIER
 - * GEOTEXTILE EROSION MATTING
 - * SODDING

STORMWATER FACILITIES CONSTRUCTION NOTES

1. ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITIES. CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES SHALL BE OBSERVED AND DOCUMENTED BY THE ENGINEER, OR AN OWNER'S REPRESENTATIVE.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
3. AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
4. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
5. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
6. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAKUP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
7. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.



1625 NORTHPORT DRIVE
MADISON, WI 53704

CITY OF MADISON PARKS DIVISION
CITY-COUNTY BUILDING, ROOM 104
210 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703

PROJECT NUMBER	223471.00
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ISSUED FOR:

BID SET 05/16/2024

REVISION FOR

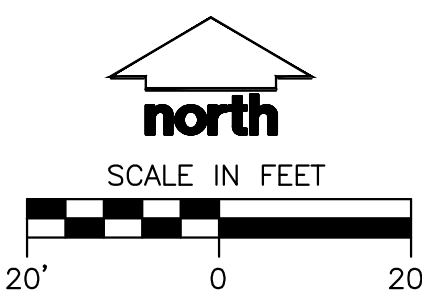
NO.	DESCRIPTION	DATE
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CHECKED BY KJY

DEMOLITION PLAN

C200



WARNER PARK
COMMUNITY
RECREATION CENTER
EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704

CITY OF MADISON PARKS DIVISION
CITY-COUNTY BUILDING, ROOM 104
210 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703

PROJECT NUMBER 223471.00

ISSUED FOR:

BID SET 05/16/2024

REVISION FOR:

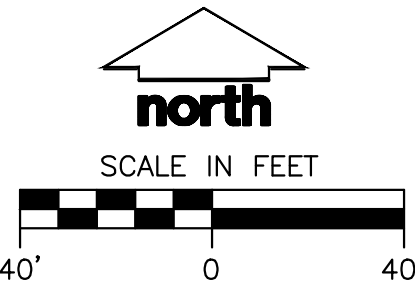
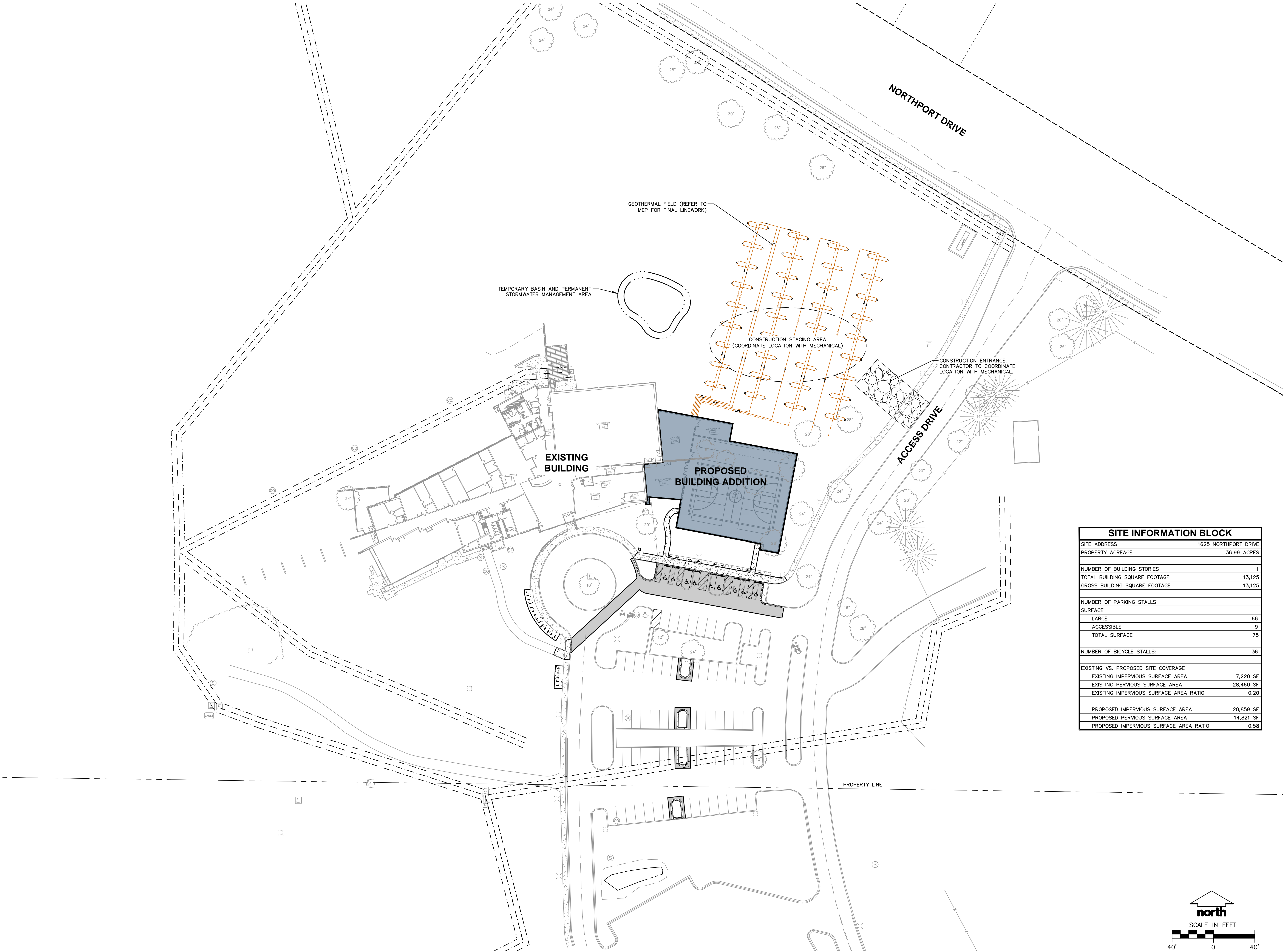
NO. DESCRIPTION DATE

DRAWN BY CHG/MRA

CHECKED BY KJY

OVERALL SITE PLAN

SITE INFORMATION BLOCK	
SITE ADDRESS	1625 NORTHPORT DRIVE
PROPERTY ACREAGE	36.99 ACRES
NUMBER OF BUILDING STORIES	1
TOTAL BUILDING SQUARE FOOTAGE	13,125
GROSS BUILDING SQUARE FOOTAGE	13,125
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	66
ACCESSIBLE	9
TOTAL SURFACE	75
NUMBER OF BICYCLE STALLS:	36
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	7,220 SF
EXISTING PERVIOUS SURFACE AREA	28,460 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.20
PROPOSED IMPERVIOUS SURFACE AREA	20,859 SF
PROPOSED PERVIOUS SURFACE AREA	14,821 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.58



C300

WARNER PARK
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210 MARTIN LUTHER KING JR. BLVD
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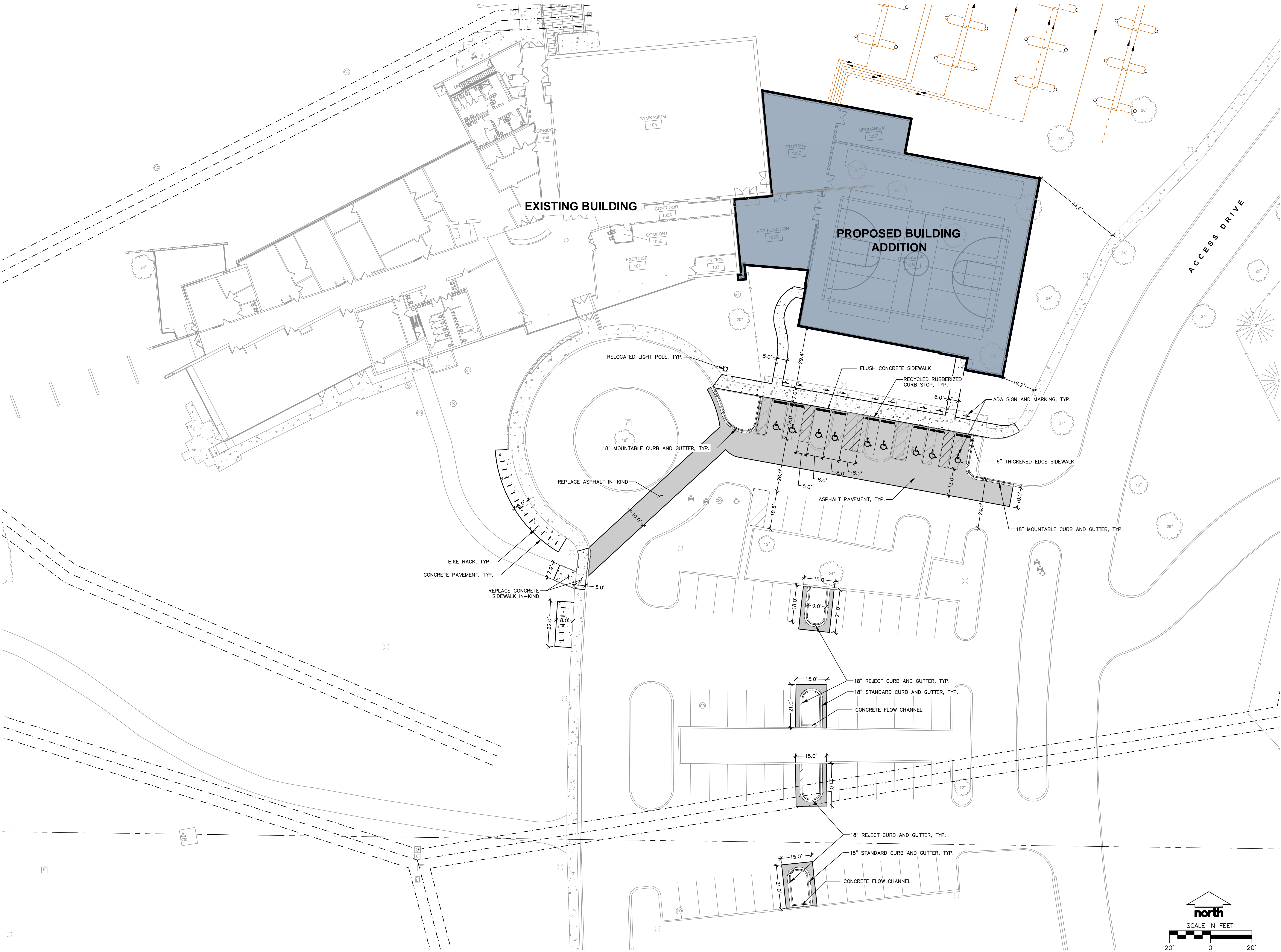
NO.	DESCRIPTION	DATE
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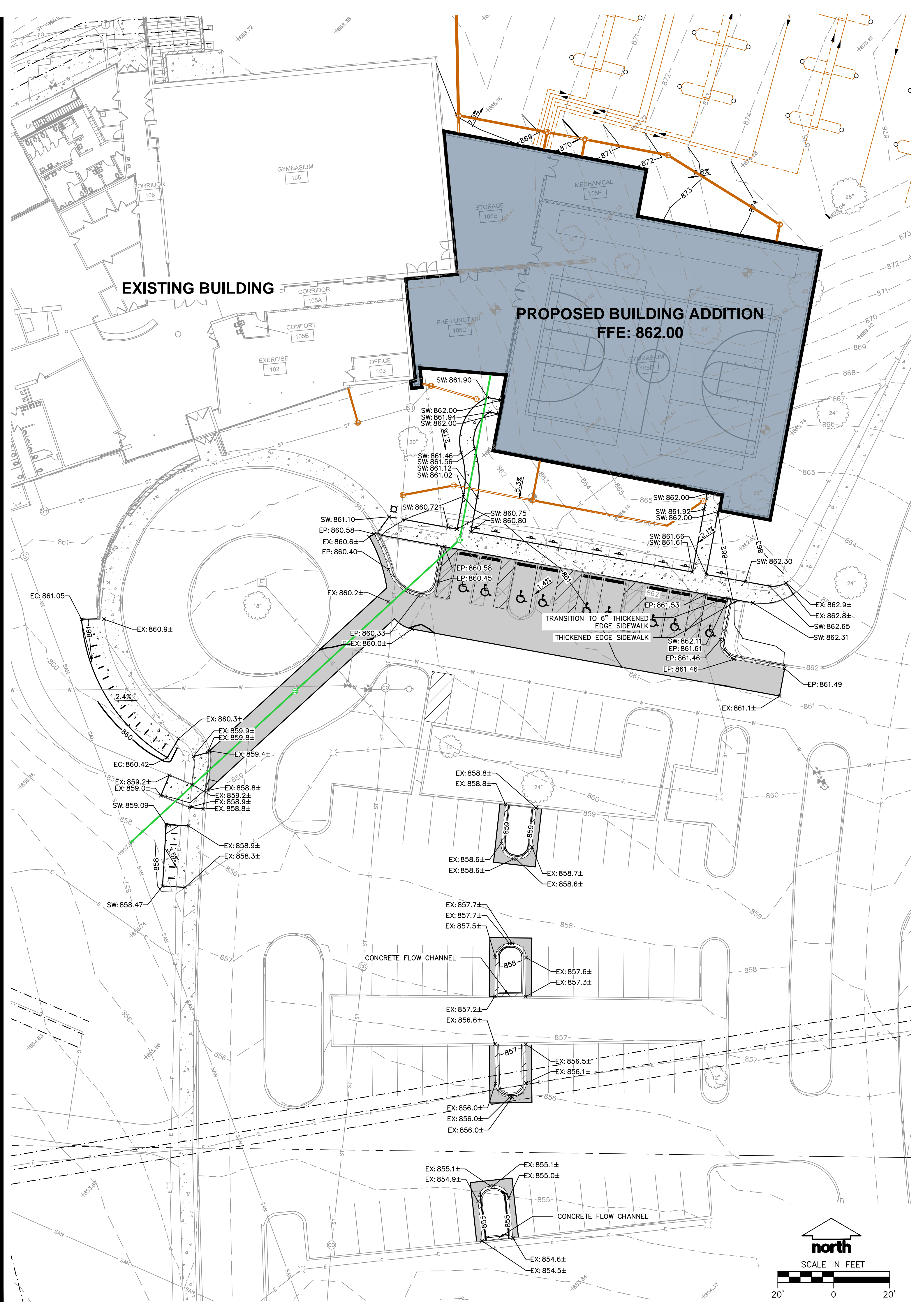
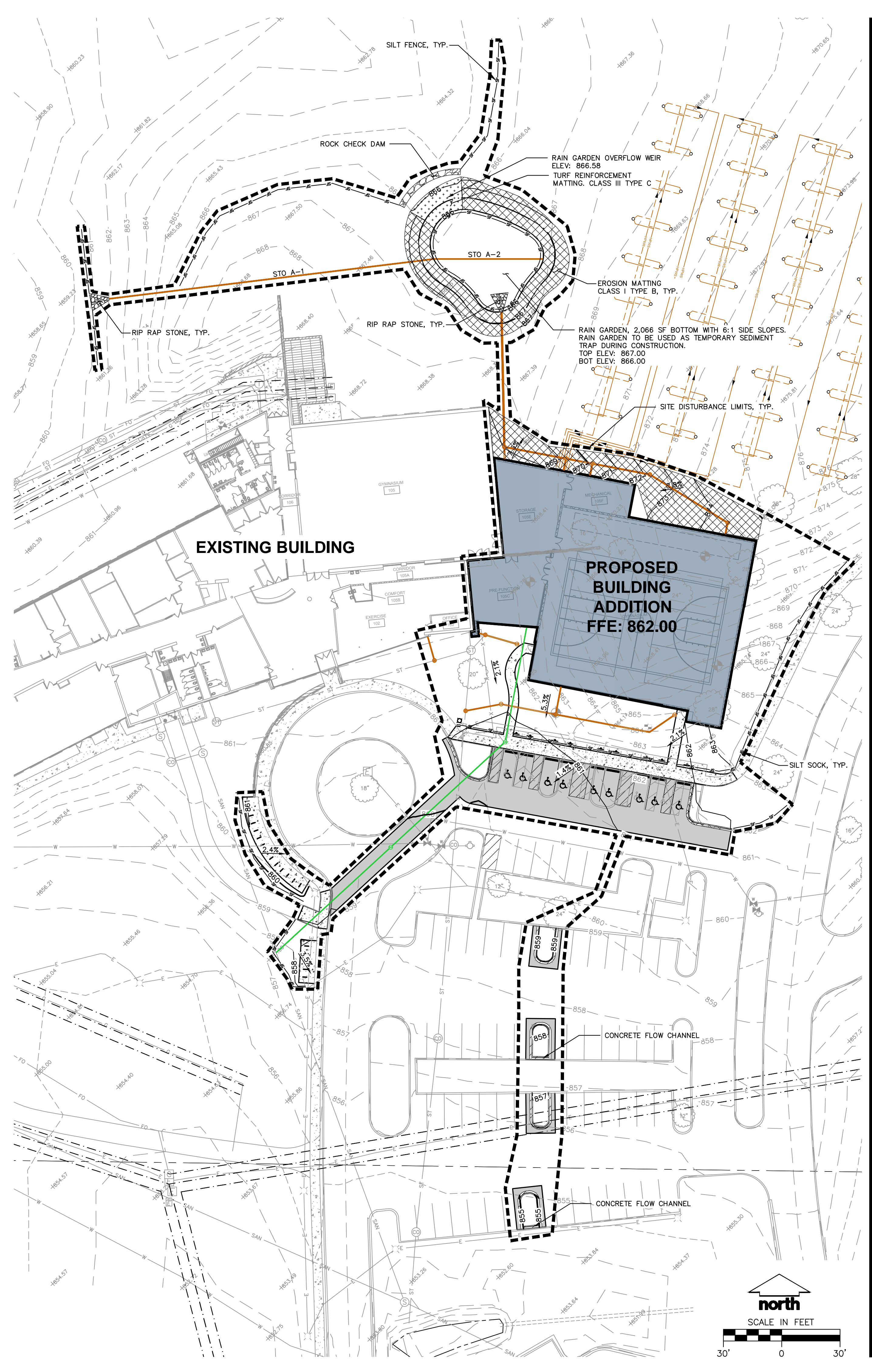
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SITE PLAN

C301





MILWAUKEE | MADISON | CHICAGO

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

**WARNER PARK
COMMUNITY
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EXPANSION**

1625 NORTHPORT DRIVE
MADISON, WI 53704
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210 MARTIN LUTHER KING JR. BLVD
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**GRADING & EROSION
CONTROL PLAN**

C400

WARNER PARK
COMMUNITY
RECREATION CENTER
EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704

CITY OF MADISON PARKS DIVISION
CITY-COUNTY BUILDING, ROOM 104
210 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703

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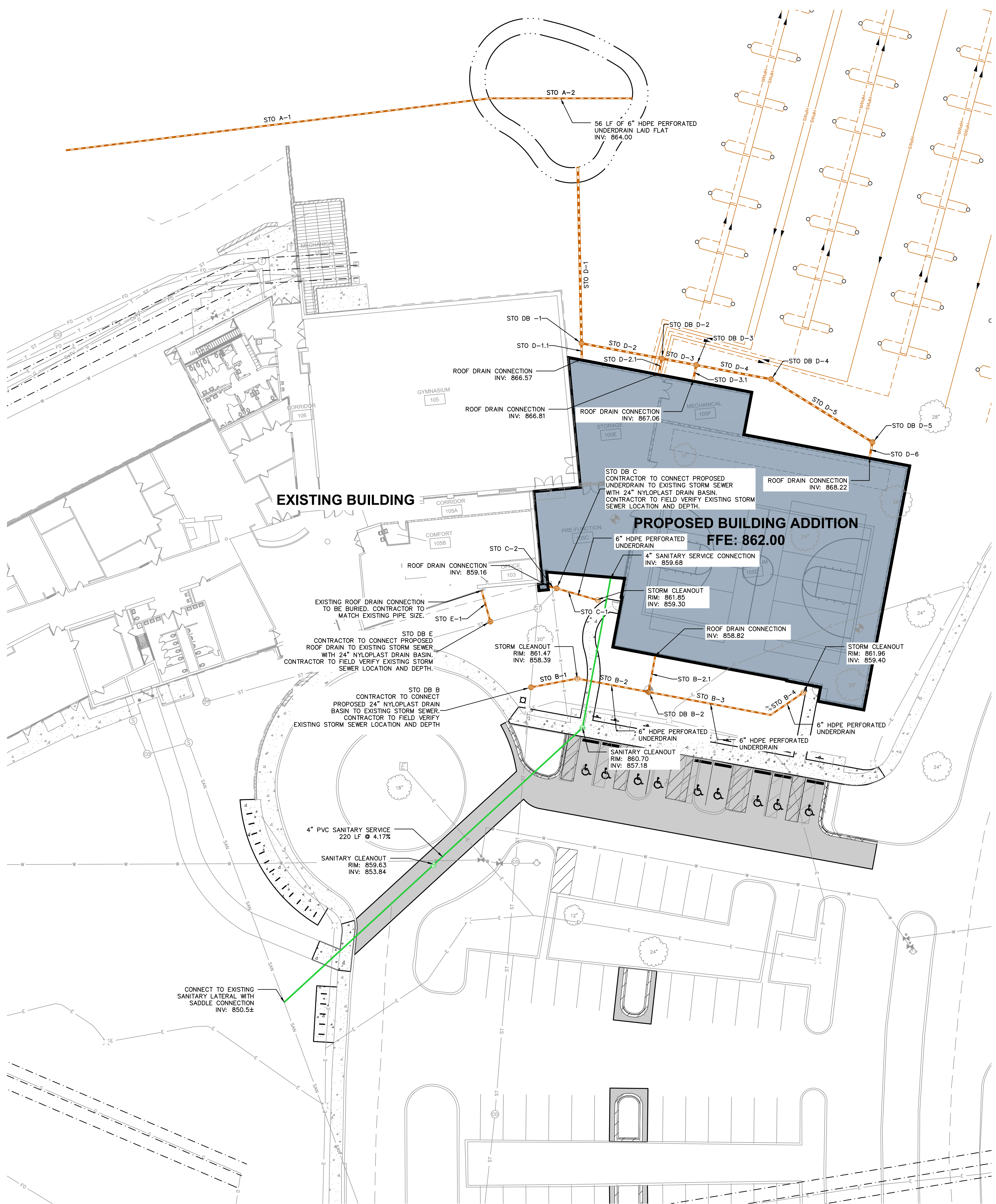
NO. DESCRIPTION DATE

DRAWN BY CHG/MRA

CHECKED BY KJY

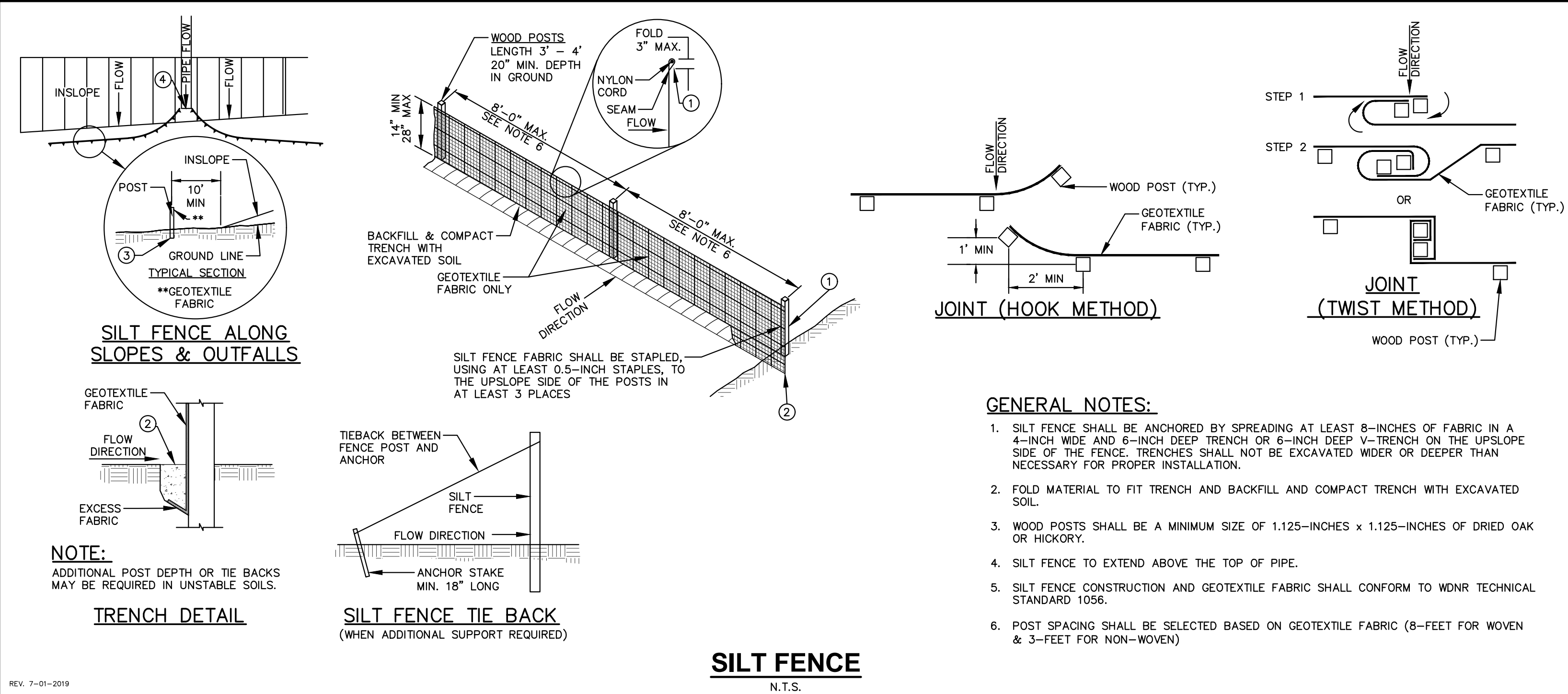
UTILITY PLAN

C500

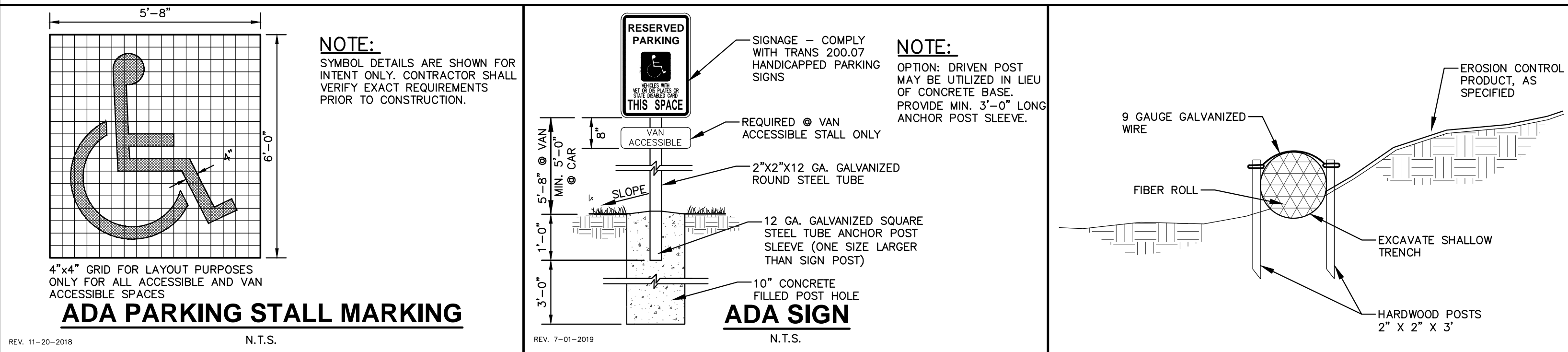


PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO DB -1	868.95	N INV: 866.52 (10") S INV: 866.52 (8") E INV: 866.52 (8")	2.4	24 IN DB	ADS DRAIN WITH BEEHIVE GRATE
STO DB B	861.24	E INV: 858.20 (6")	3.0	24 IN DB	ADS DRAIN WITH BEEHIVE GRATE
STO DB B-2	861.31	W INV: 858.68 (6") E INV: 858.68 (6") N INV: 858.68 (6")	2.6	24 IN DB	ADS DRAIN WITH BEEHIVE GRATE
STO DB C	861.99	E INV: 859.13 (6") W INV: 859.13 (6")	2.9	24 IN DB	ADS DRAIN WITH BEEHIVE GRATE
STO DB D-2	869.23	W INV: 866.76 (8") E INV: 866.76 (8") S INV: 866.76 (8")	2.5	24 IN DB	ADS DRAIN WITH BEEHIVE GRATE
STO DB D-3	870.14	W INV: 866.97 (8") E INV: 866.97 (8") S INV: 866.97 (8")	3.2	24 IN DB	ADS DRAIN WITH BEEHIVE GRATE
STO DB D-4	872.22	W INV: 867.42 (8") SE INV: 867.42 (8")	4.8	12 IN DB	ADS DRAIN WITH BEEHIVE GRATE
STO DB D-5	874.44	NW INV: 868.13 (8") S INV: 868.13 (8")	6.3	12 IN DB	ADS DRAIN WITH BEEHIVE GRATE
STO DB E	861.44	N INV: 858.70 (6")	2.7	24 IN DB	ADS DRAIN WITH BEEHIVE GRATE

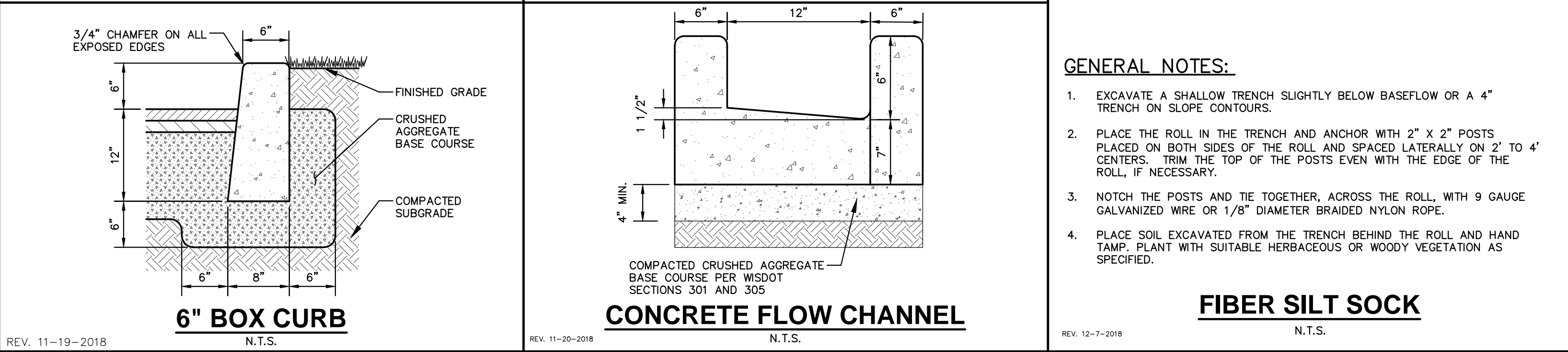
PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO A-1	STO A	168'	864.00	862.00	1.19%	6 IN HDPE
STO A-2	STO A-2	STO A-1	56'	864.00	864.00	0.00%	6 IN HDPE
STO B-1	STO B-1	STO DB B	19'	858.39	858.20	1.00%	6 IN HDPE
STO B-2	STO DB B-2	STO B-1	29'	858.68	858.39	1.00%	6 IN HDPE
STO B-2.1	STO B-1.2	STO DB B-2	14'	858.82	858.68	1.00%	6 IN HDPE
STO B-3	STO B-3	STO DB B-2	49'	859.17	858.68	1.00%	6 IN HDPE
STO B-4	STO B-4	STO B-3	16'	859.40	859.17	1.50%	6 IN HDPE
STO C-1	STO C-1	STO DB C	17'	859.30	859.13	1.00%	6 IN HDPE
STO C-2	STO C-2	STO DB C	3'	859.16	859.13	1.00%	6 IN HDPE
STO D-1	STO DB -1	STO D	70'	866.52	866.00	0.75%	10 IN HDPE
STO D-1.1	STO D-1.1	STO DB -1	6'	866.57	866.52	0.75%	8 IN HDPE
STO D-2	STO DB D-2	STO DB -1	32'	866.76	866.52	0.75%	8 IN HDPE
STO D-2.1	STO D-2.1	STO DB D-2	6'	866.81	866.76	0.75%	8 IN HDPE
STO D-3	STO DB D-3	STO DB D-2	14'	866.97	866.76	1.50%	8 IN HDPE
STO D-3.1	STO D-3.1	STO DB D-3	6'	867.06	866.97	1.50%	8 IN HDPE
STO D-4	STO DB D-4	STO DB D-3	30'	867.42	866.97	1.50%	8 IN HDPE
STO D-5	STO DB D-5	STO DB D-4	47'	868.13	867.42	1.50%	8 IN HDPE
STO D-6	STO D-6	STO DB D-5	6'	868.22	868.13	1.50%	8 IN HDPE
STO E-1	STO E-1	STO DB E	13'	858.95	858.70	2.00%	6 IN HDPE



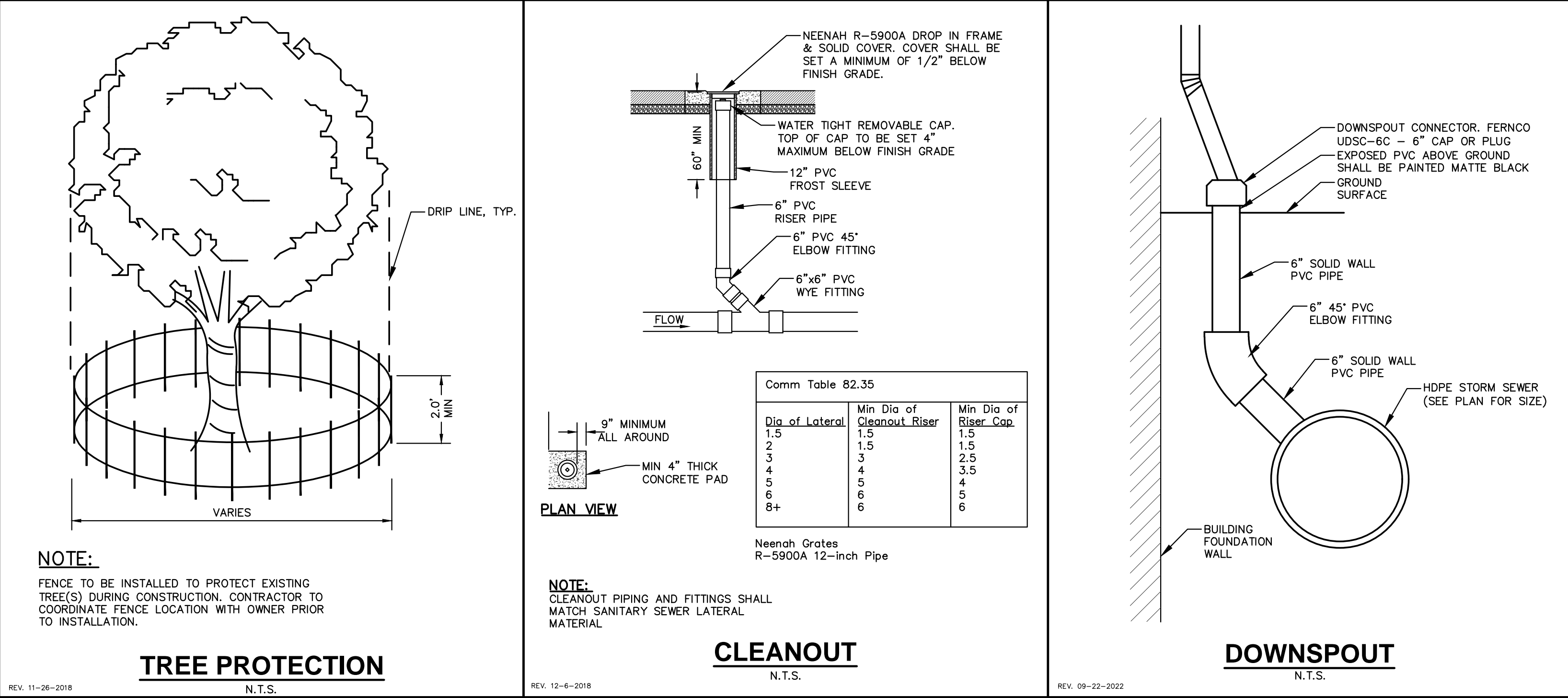
REV. 7-01-2019



REV. 11-20-2018



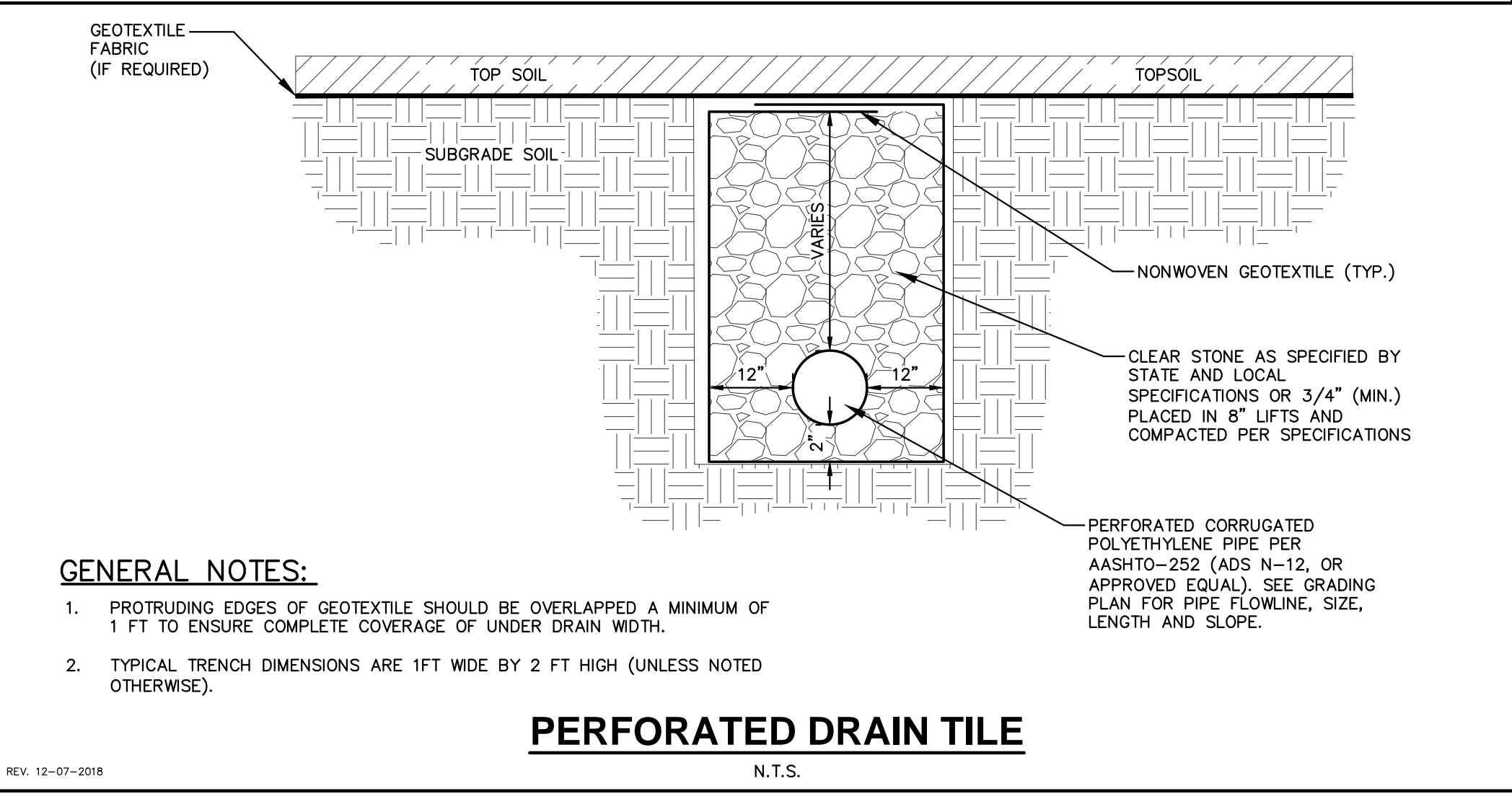
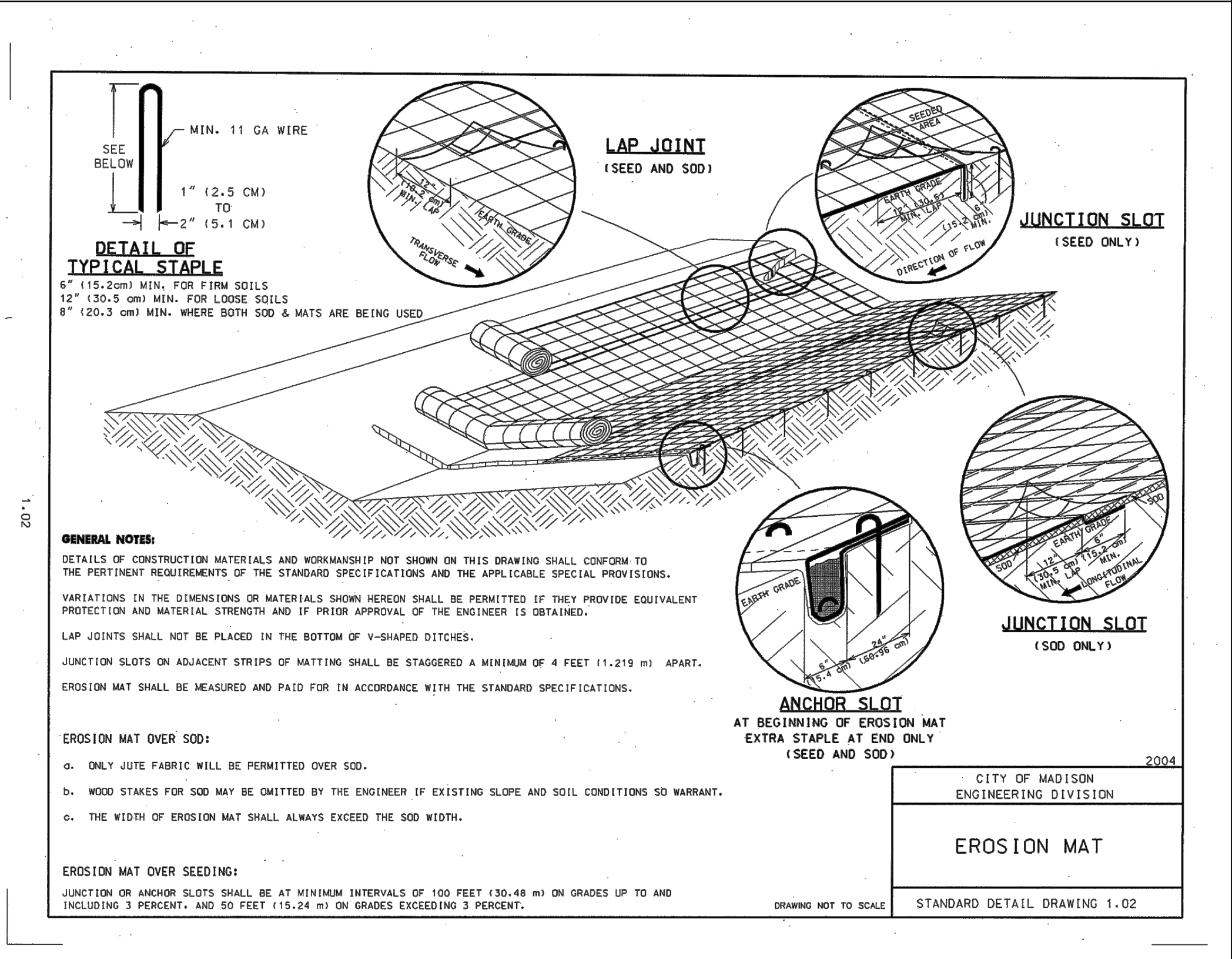
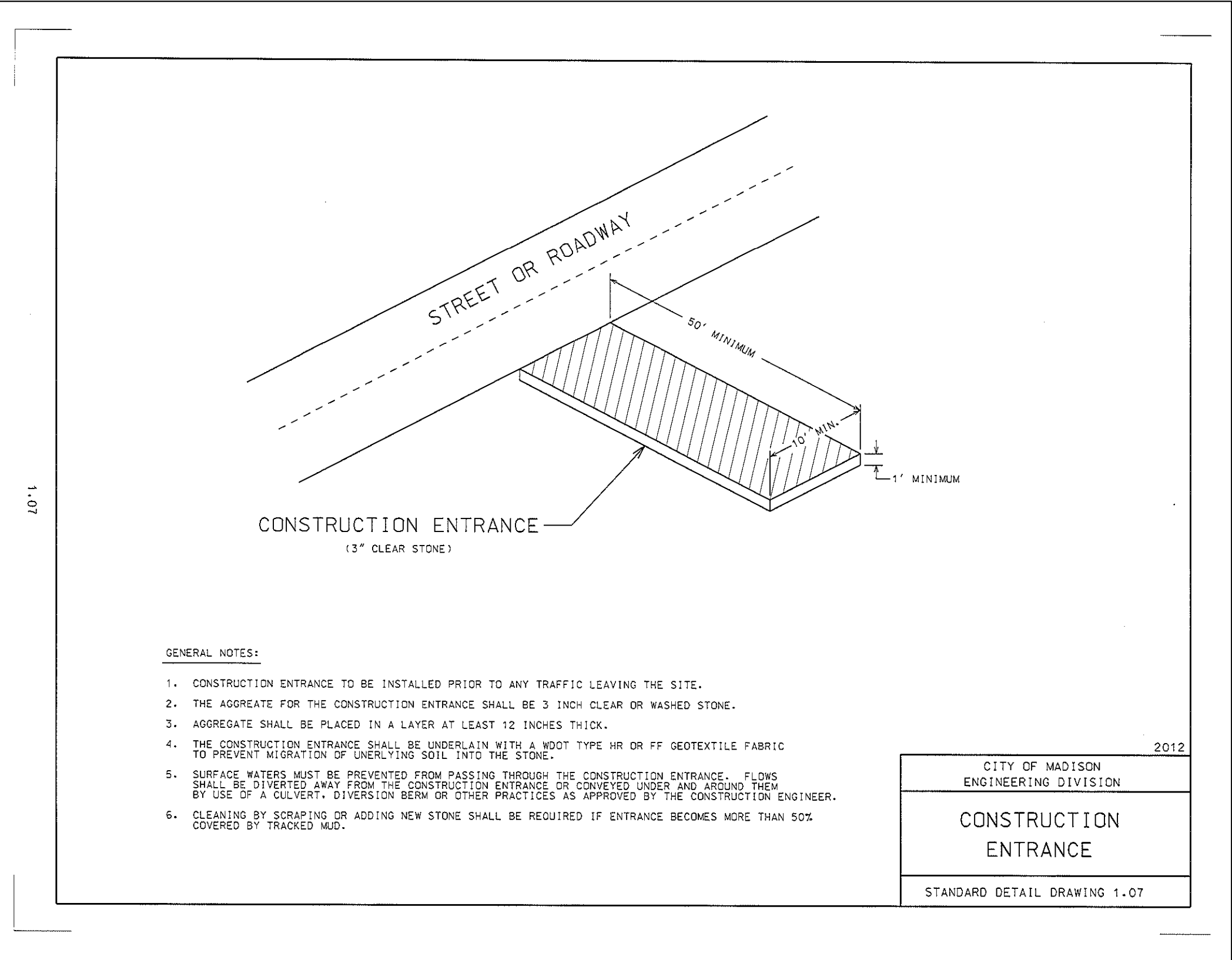
REV. 11-19-2018



REV. 11-26-2018

REV. 12-6-2018

REV. 09-22-2022



REV. 12-07-2018

N.T.S.

**WARNER PARK
COMMUNITY
RECREATION CENTER
EXPANSION**

1625 NORTHPORT DRIVE
MADISON, WI 53704

CITY OF MADISON PARKS DIVISION
CITY-COUNTY BUILDING, ROOM 104
210 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703

PROJECT NUMBER 223471.00

ISSUED FOR:

BID SET 05/16/2024

REVISION FOR:

NO. DESCRIPTION DATE

DRAWN BY CHG/MRA

CHECKED BY KJY

DETAILS

C600

**WARNER PARK
COMMUNITY
RECREATION CENTER
EXPANSION**

1625 NORTHPORT DRIVE
MADISON, WI 53704

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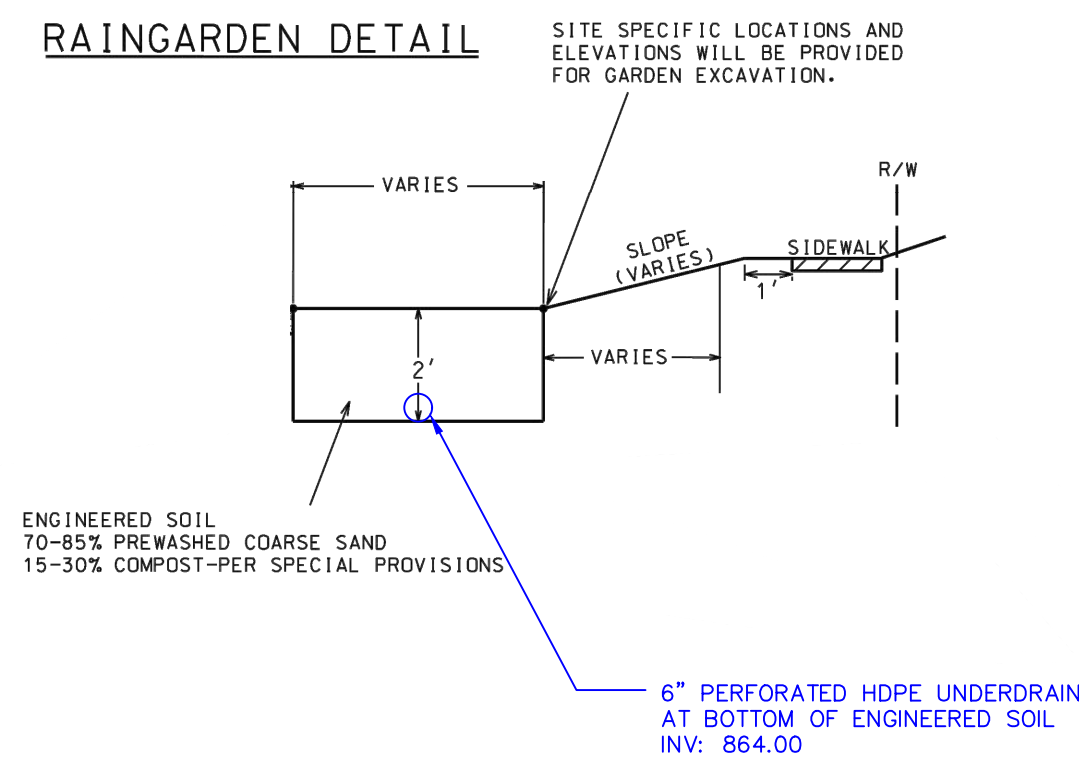
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DETAILS

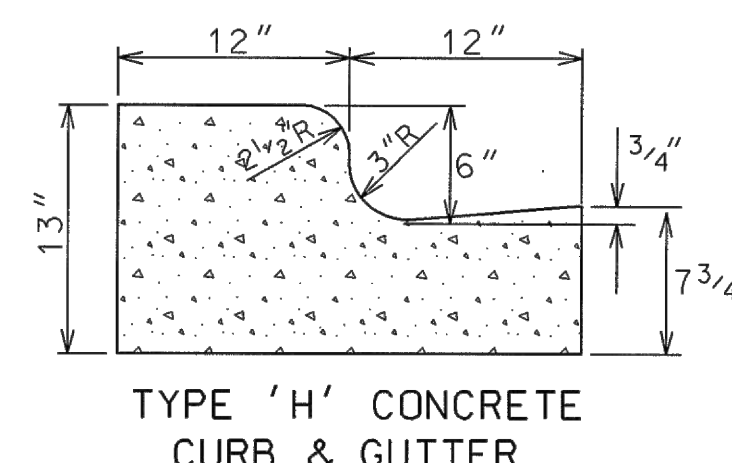
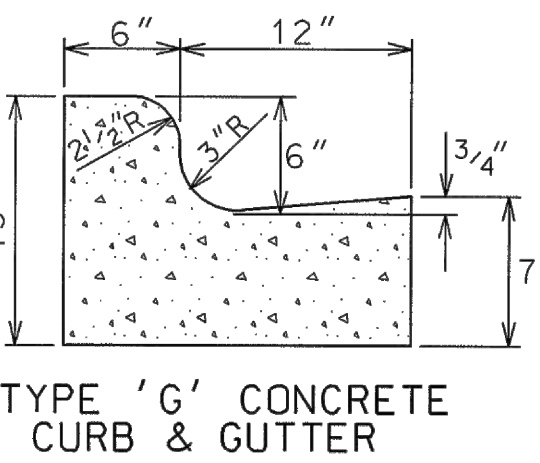
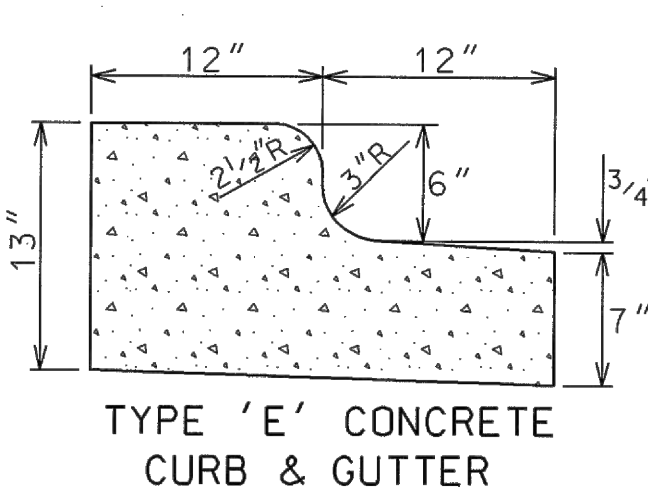
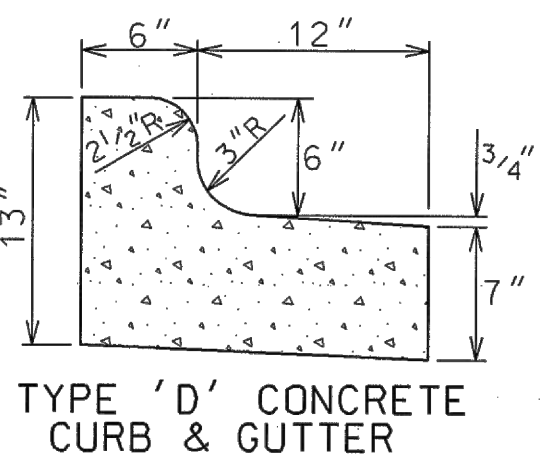
C601

RAINGARDEN DETAIL

RAINGARDEN DETAIL



CITY OF MADISON ENGINEERING DIVISION
RAINGARDEN & BIO-RETENTION DETAIL
STANDARD DETAIL DRAWING 2.09



GENERAL NOTES:

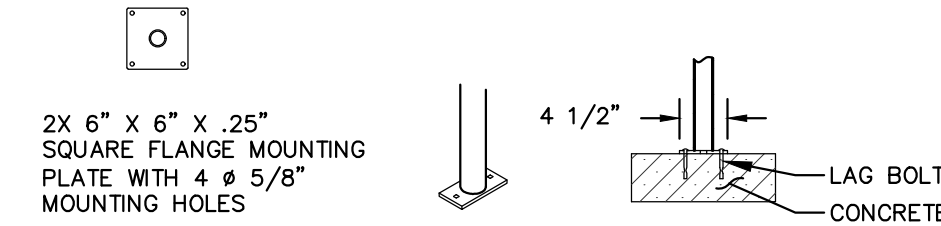
LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH

EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE

CITY OF MADISON ENGINEERING DIVISION
MADISON STANDARD CONCRETE CURB & GUTTER
STANDARD DETAIL DRAWING 3.08

ELEVATION VIEW



**SURFACE FLANGE MOUNT (SF)
SECTION VIEWS**

GENERAL NOTES:

- DO NOT SCALE DRAWING.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- COLOR: CHARCOAL
- SUPPLY SHOP DRAWING FOR REVIEW.

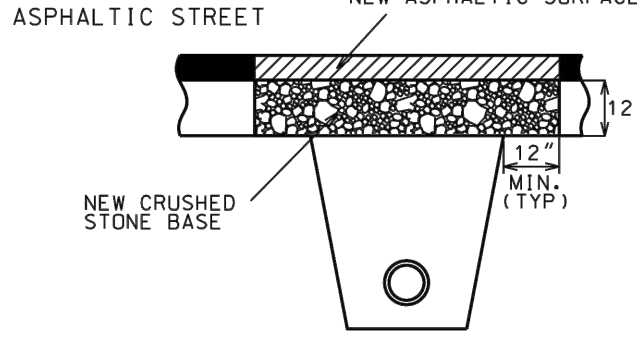
INVERTED-U BIKE RACK

REV. 12-10-2018

N.T.S.

TYPE III UTILITY TRENCH PATCH

TYPE III



THE PATCH SHALL BE CRUSHED STONE BASE COURSE, GRADATION NO. 2 OVERLAIN WITH ASPHALT UPPER LAYER EQUAL IN THICKNESS TO THE EXISTING ASPHALTIC PAVEMENT WITH A MINIMUM THICKNESS OF 3.5" AND A MAXIMUM THICKNESS OF 6" UNLESS OTHERWISE SPECIFIED AND LAID IN ONE OR MORE COURSES AS DIRECTED BY THE ENGINEER.

THE PAVEMENT ALONG THE PATCH SHALL BE SAWCUT, FULL DEPTH, AND INCIDENTAL TO THE TRENCH PATCH. THE EDGES OF THE EXISTING ASPHALTIC PAVEMENT SHALL BE FREE OF LOOSE STONES OR PAVEMENT MATERIAL.

THE CRUSHED STONE BASE COURSE SHALL BE INSTALLED IN TWO LIFTS. THE LOWER LIFT SHALL BE THOROUGHLY MECHANICALLY COMPACTED PRIOR TO PLACING THE UPPER LIFT.

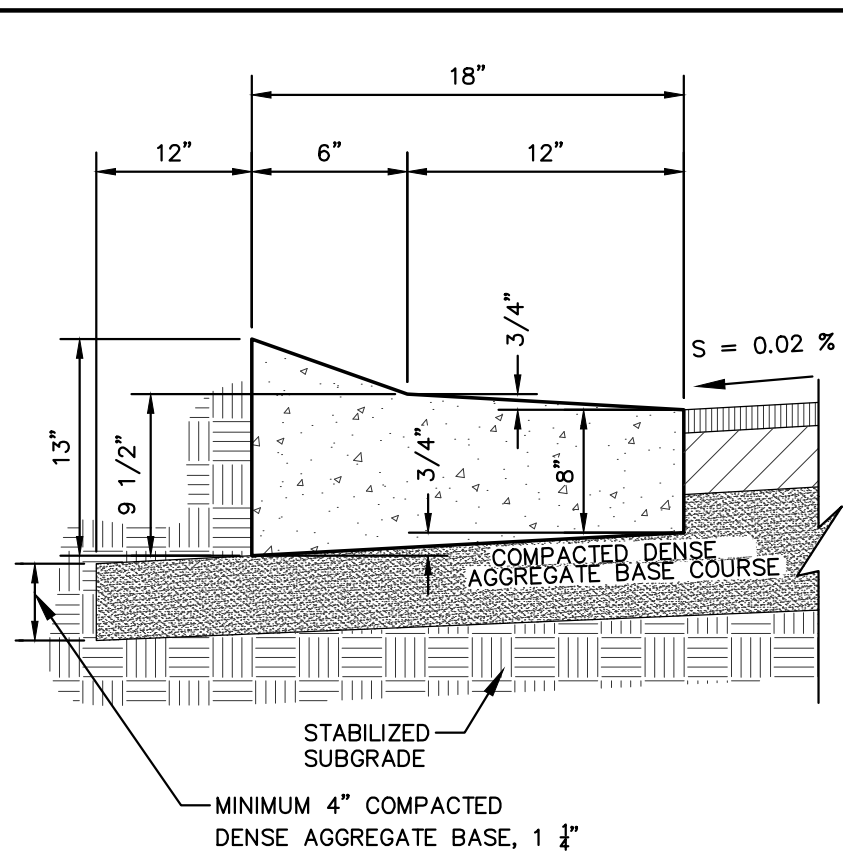
THE ASPHALT UPPER LAYER SHALL BE LAID IN TWO LIFTS. THE ASPHALT UPPER LAYER SHALL BE MACHINE LAID WHERE DIRECTED BY THE ENGINEER. WHERE THE ASPHALTIC UPPER LAYER IS MACHINE LAID AND IS NOT MORE THAN 3" IN THICKNESS, THE ASPHALT SURFACE COURSE MAY BE IN ONE LIFT.

PRIOR TO PLACING THE ASPHALT UPPER LAYER, THE EDGES OF THE PATCH AND THE SURFACE OF THE CRUSHED STONE BASE SHALL BE TACKED AND PRIMED WITH LIQUID ASPHALT.

CITY OF MADISON ENGINEERING DIVISION

**TYPICAL PAVEMENT
PATCH SECTIONS**

STANDARD DETAIL DRAWING 5.2.4



GENERAL NOTES:

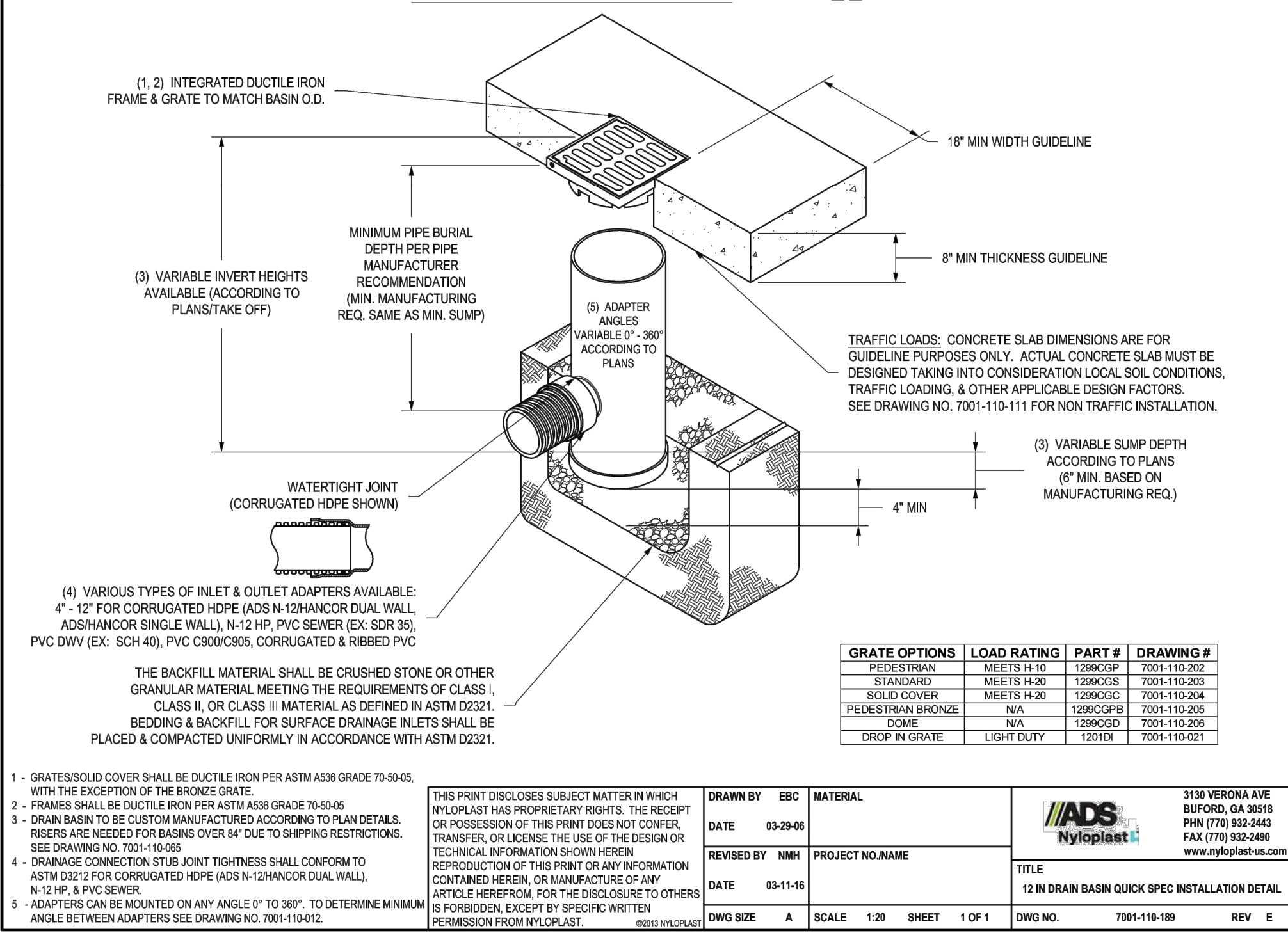
- CONTRACTION JOINT 10 FOOT O.C., JOINT SHALL BE 0.25 INCH WIDE.
- A 0.75 INCH TO 1 INCH EXPANSION JOINT (FELT) SHALL BE CONSTRUCTED NOT MORE THAN 300 FEET APART, AT P.C. POINTS AND 5 FEET EITHER SIDE OF INLET STRUCTURES.
- WHERE NEW CONCRETE MEETS WITH EXISTING CONCRETE A 0.75 INCH EXPANSION JOINT (FELT) SHALL SEPARATE THE TWO.

**18" REJECT MOUNTABLE
CONCRETE CURB & GUTTER**

REV. 11-19-2018

N.T.S.

NYLOPLAST 12" DRAIN BASIN: 2812AG _ _ X



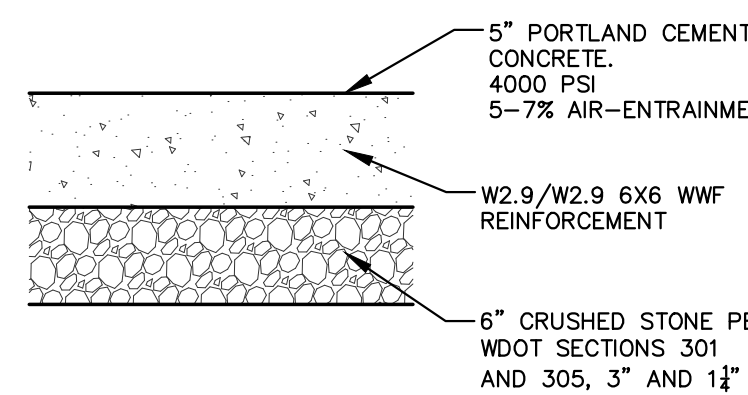
GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1286CGR	7001-110-202
STANDARD	MEETS H-20	1286CGR	7001-110-203
SOLID COVER	MEETS H-20	1286CGR	7001-110-204
PEDESTRIAN BRONZE	N/A	1286CGRB	7001-110-205
DOMES	N/A	1286CGRD	7001-110-206
DROP IN GRATE	LIGHT DUTY	1201C	7001-110-021

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-006
- DRAINAGE CONNECTION STUD JOINT TIGHTNESS SHALL CONFORM TO ASTM D3012 FOR CORRUGATED HDPE (ADS N-12) HANCOCK DUAL WALL, N-12 HP & PVC SEWER
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 90°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

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DRAWN BY	EGC	MATERIAL
DATE	03-29-06	
REVISED BY	NNH	PROJECT NO NAME
DATE	03-11-16	
DWG SIZE	A	SCALE 1:20 SHEET 1 OF 1

ADS Nyloplast	3130 VERONA AVE BURLINGTON, IA 50918 PHN (770) 933-2443 FAX (770) 933-2480 www.nyloplast-usa.com
TITLE	12 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
DWG NO.	7001-110-180
REV	E



CONCRETE PAVEMENT

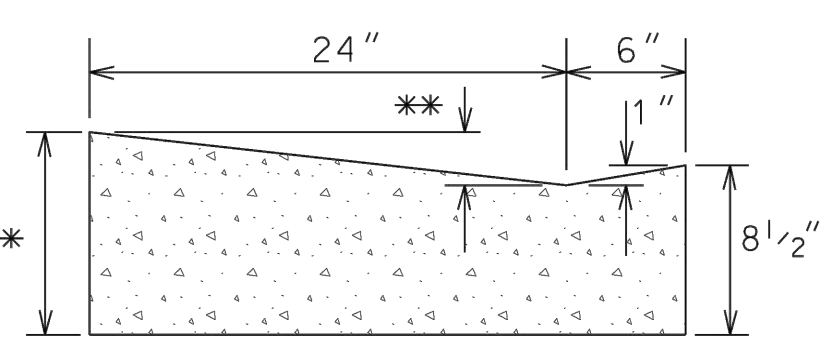
GENERAL NOTES:

- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY SOIL & ENGINEERING SERVICES, INC. TITLED "SUPPLEMENTARY GEOTECHNICAL EXPLORATION" DATED DECEMBER 16, 1997, IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
- CONCRETE PADS SHALL HAVE A WIRE REINFORCEMENT MESH (W6X6, 2.9X2.9) FOR CRACK CONTROL.

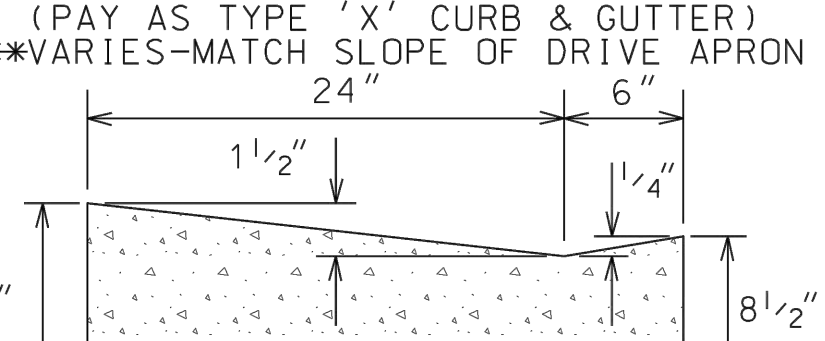
PAVEMENT SECTIONS

N.T.S.

REV. 7-01-2019



(PAY AS TYPE 'X' CURB & GUTTER)
**VARIES-MATCH SLOPE OF DRIVE APRON



(PAY AS TYPE 'X' CURB & GUTTER)

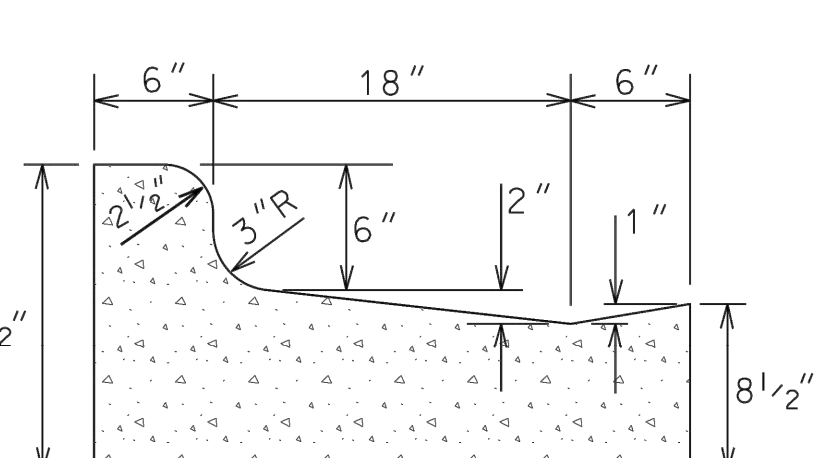
GENERAL NOTES:

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH

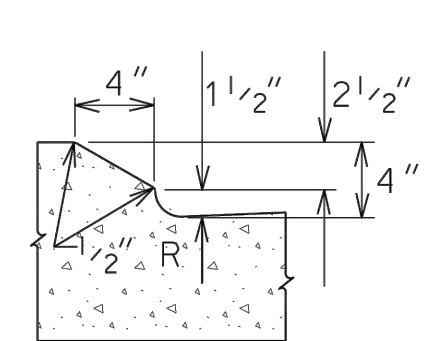
EXPANSION JOINTS SHALL BE PLACED TRANSVERSLY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK.

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE

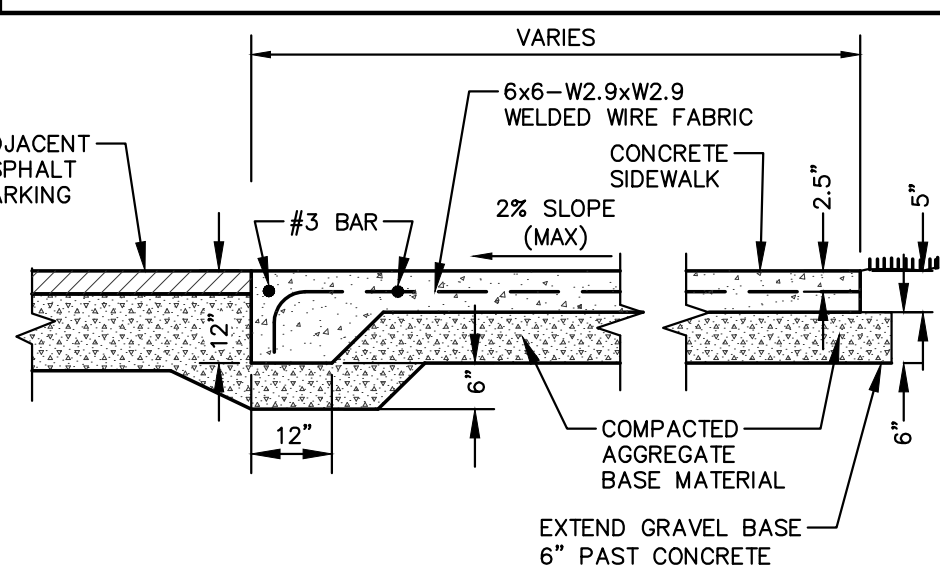
CITY OF MADISON ENGINEERING DIVISION
MADISON STANDARD CONCRETE CURB & GUTTER
STANDARD DETAIL DRAWING 3.07



(PAY AS ADJACENT
CURB & GUTTER TYPE)

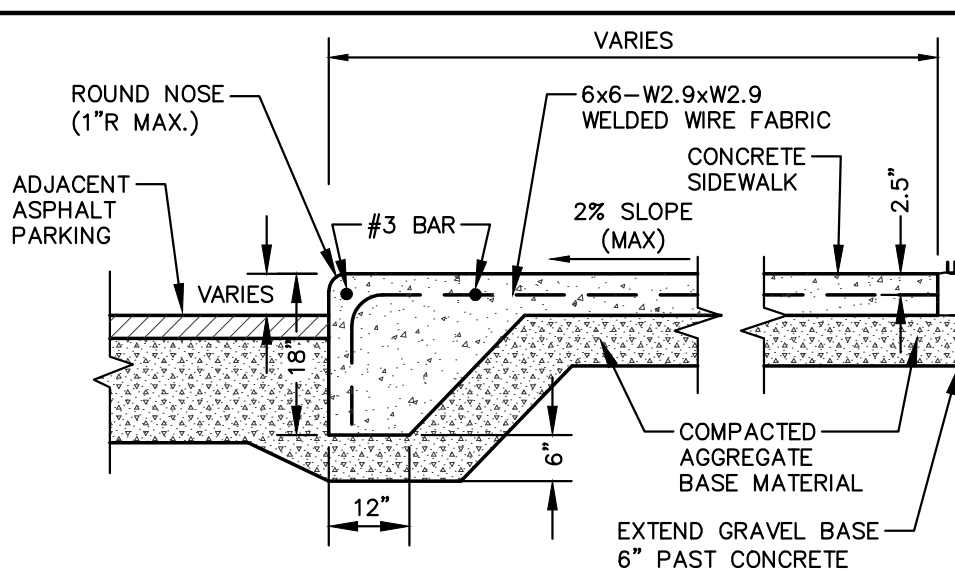


(PAY AS ADJACENT
CURB & GUTTER TYPE)



**THICKENED EDGE
SIDEWALK - FLUSH**

N.T.S.



THICKENED EDGE SIDEWALK

N.T.S.



1625 NORTHPORT DRIVE
MADISON, WI 53704

CITY OF MADISON PARKS DIVISION
CITY-COUNTY BUILDING, ROOM 104
210 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703

PROJECT NUMBER 223471.00

PLANT SCHEDULE (SEE SHEET L200 FOR COMPREHENSIVE SCHEDULE)

ISSUED FOR:

BID SET 05/16/2024

REVISION FOR:

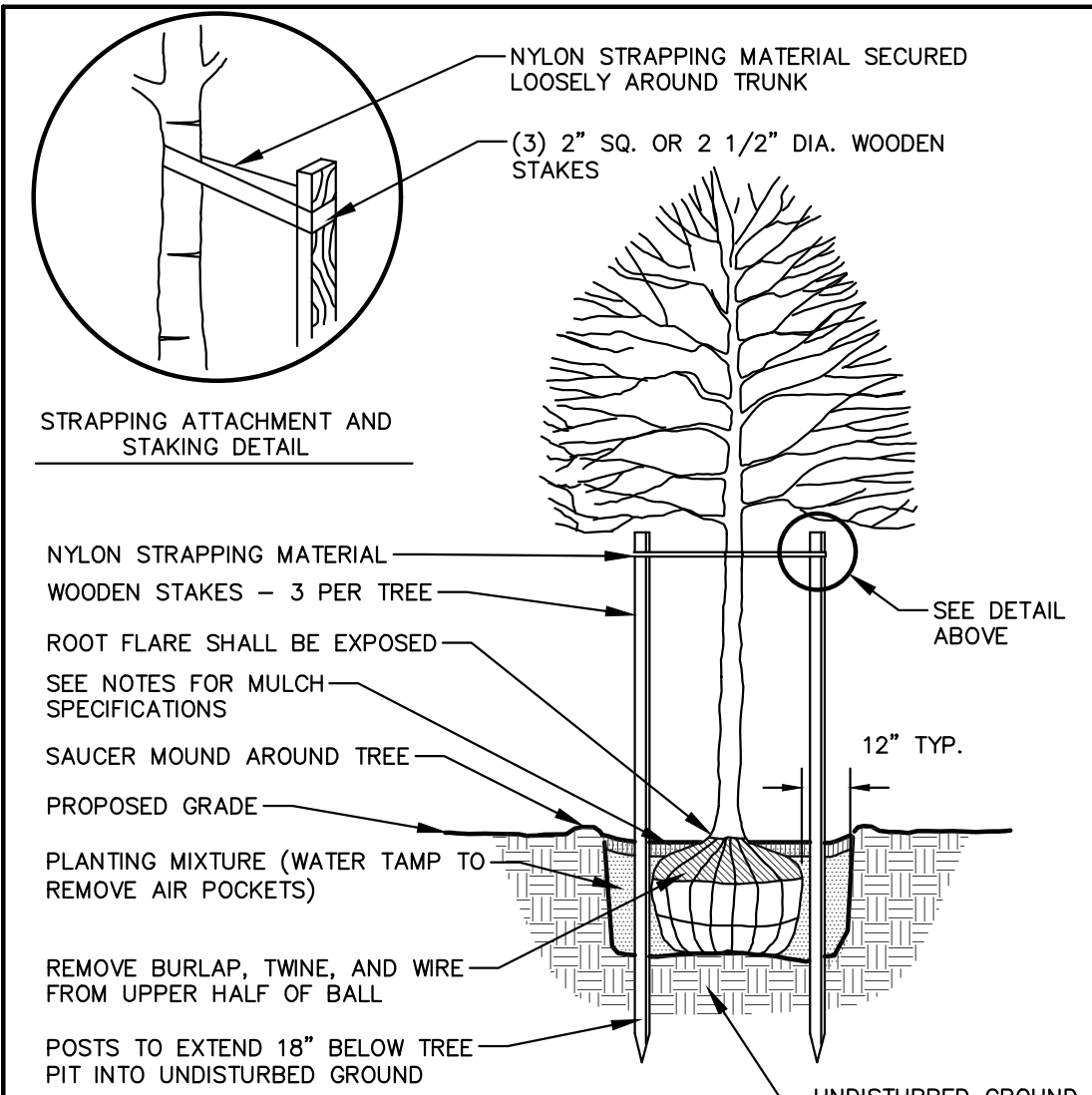
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DRAWN BY CHG/MRA

CHECKED BY KJY

LANDSCAPE PLAN

L100

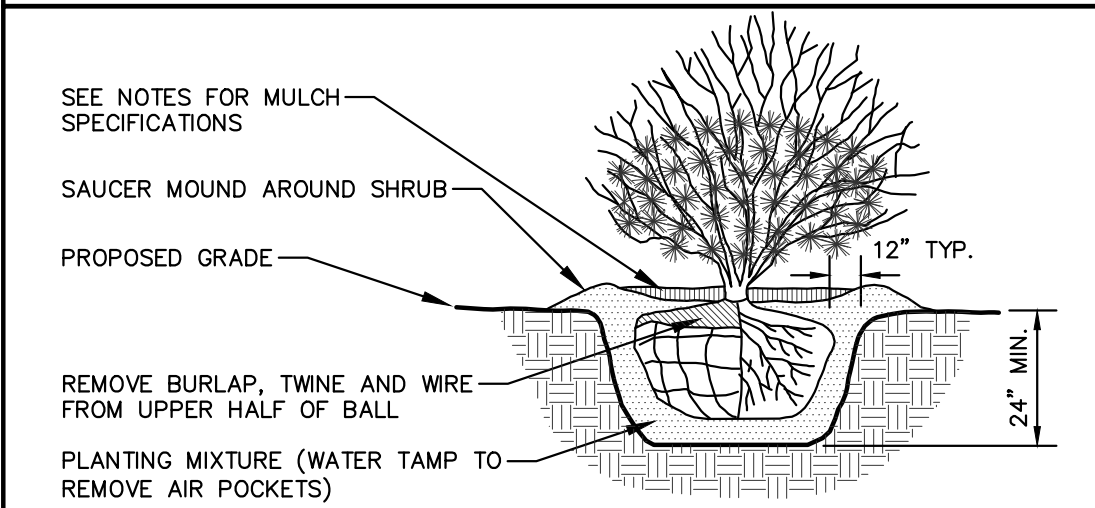


NOTE:
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.

2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

DECIDUOUS TREE PLANTING DETAIL

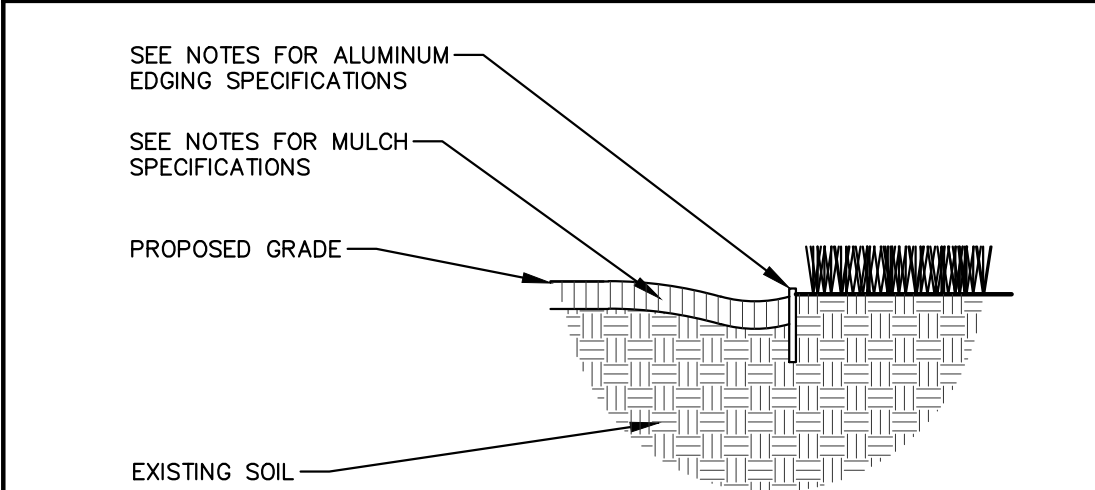
REV. 01-04-2019 N.T.S.



NOTE:
1. ROOT FLARE TO BE EXPOSED.

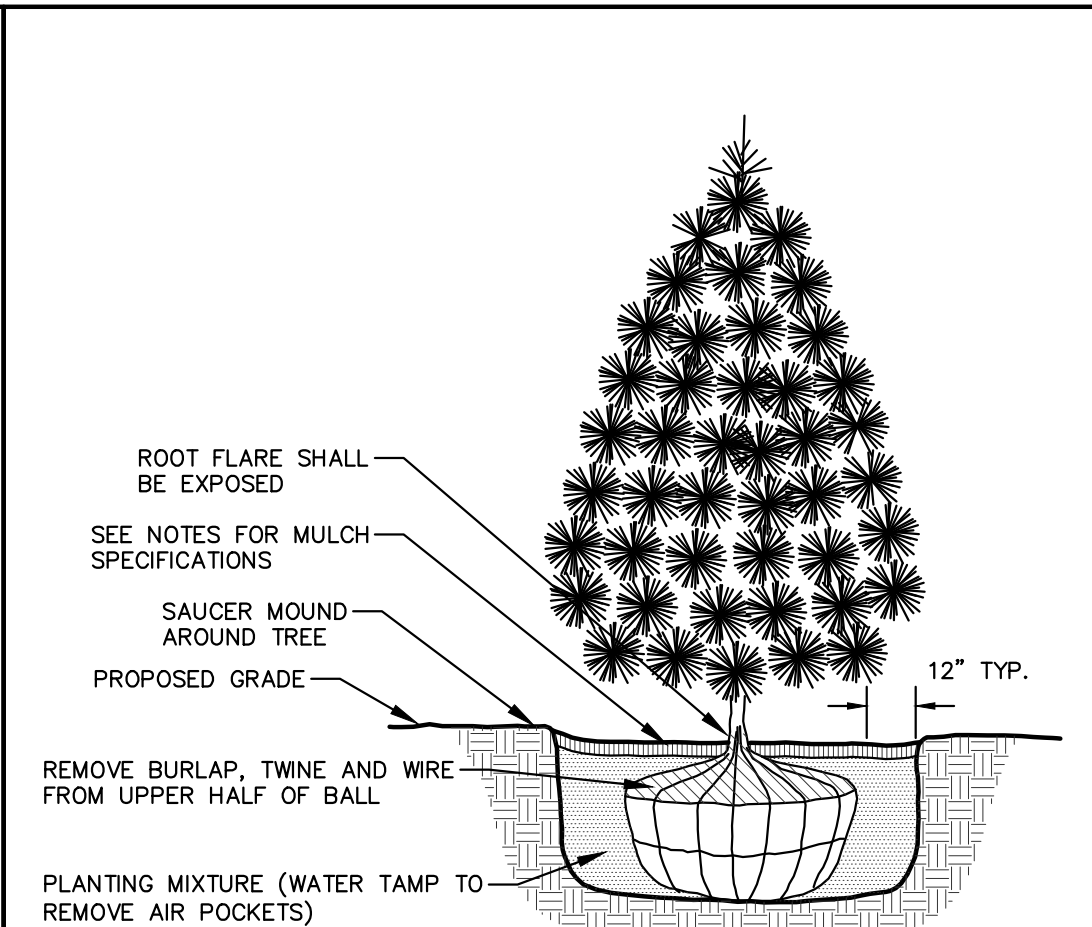
SHRUB PLANTING DETAIL

REV. 01-03-2019 N.T.S.



ALUMINUM LANDSCAPE EDGING DETAIL

REV. 01-03-2019 N.T.S.

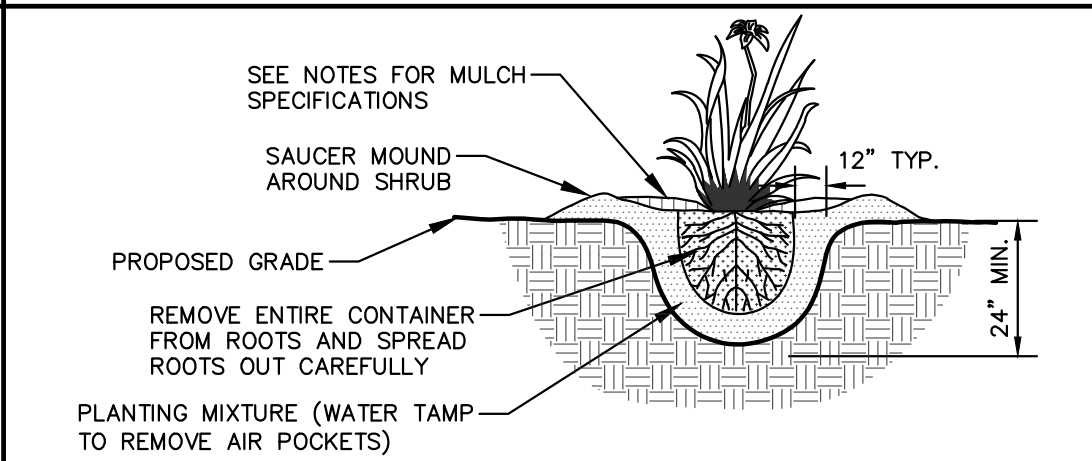


NOTE:
1. DIG HOLE NO DEEPER THAN BASE OF ROOT BALL TO FLARE. ROOT BALL TO BE SET ON UNDISTURBED SOIL UNLESS COMPACTED AGGREGATE STONE REMAINS FROM SITE EXCAVATOR. REMOVE REMAINING AGGREGATE STONE UNTIL SOIL LAYER IS REACHED.

2. REMOVE NYLON STRAPPING WITHIN 9-18 MONTHS FOLLOWING INSTALLATION

EVERGREEN TREE PLANTING DETAIL

REV. 01-03-2019 N.T.S.



NOTE:
1. ROOT FLARE TO BE EXPOSED.

PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

REV. 01-03-2019 N.T.S.

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

(A) For all lots except those described in (B) and (C) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 13,726
Total landscape points required: 229

(B) For lots larger than five (5) acres, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area: _____
Five (5) acres = _____
First five (5) developed acres = _____
Remainder of developed area: _____
Total landscape points required: _____

(C) For the Industrial - Limited (IL) and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: _____
Total landscape points required: _____

PLANT SCHEDULE

EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	JUNC	Juniperus virginiana 'Canaertii' Canaerti Eastern Redcedar	B & B	Min. 6' tall	3
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AMEG	Amelanchier x grandiflora 'Robin Hill' (Multi-Stem) Robin Hill Apple Serviceberry	B & B	Min. 6 ft tall	4
	CECA	Cercis canadensis 'Columbus' Columbus Strain Eastern Redbud	B & B	2" Cal (Multi-Stem)	1
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ACEM	Acer miyabei 'Morton' State Street™ Miyabe Maple	B & B	2"Cal	2
	GLTR	Gleditsia triacanthos 'inermis' 'Draves' Street Keeper® Honey Locust	B & B	2"Cal	3
	GYMD	Gymnocladus dioica 'Espresso' Kentucky Coffeetree	B & B	2"Cal	3
	QUSC	Quercus x schuettei Swamp Bur Oak	B & B	2"Cal	1
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AROM	Aronia melanocarpa Black Chokeberry	#5	Min. 24"-36"	14
	AROL	Aronia melanocarpa 'UCONNAM165' TM Low Scape Mound Chokeberry	#3	Min. 8"-18"	87
	CORS	Cornus sericea Red Twig Dogwood	#5	Min. 36" Ht.	13
	DIVL	Diervilla lonicera Dwarf Bush Honeysuckle	#3	Min. 24" wide	15
	HYAR	Hydrangea arborescens 'Incrediball' Incrediball White Hydrangea	#3	Min. 12"-24"	4
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	JUCK	Juniperus chinensis 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper	#3	Min. 24" wide	7
	JUNH	Juniperus horizontalis Creeping Juniper	#3	Min. 24" wide	8
	JUNT	Juniperus virginiana 'Taylor' Taylor Eastern Redcedar	B & B	Min. 6' tall	18
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	ALLC	Allium cernuum Nodding Onion	#1	Min 8"-18"	26
	ASCT	Asclepias tuberosa Butterfly Milkweed	#1	Min. 8"-18"	21
	SCHZ	Schizachyrium scoparium Little Bluestem	#1	Min 8"-18"	28
	SOLF	Solidago flexicaulis Zigzag Goldenrod	#1	Min 8"-18"	20
	SORN	Sorghastrum nutans Indian Grass	#1	Min 8"-18"	43
	SPHE	Sporobolus heterolepis Prairie Dropseed	#1	Min 8"-18"	49

TABULATION OF LANDSCAPE CREDITS AND POINTS

			CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5' CAL MIN.	35	0	0	9	315
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	3	105
ORNAMENTAL TREE	1.5' CAL MIN.	15	0	0	5	75
UPRIGHT EVERGREEN SHRUB	3-4' TALL MIN.	10	0	0	18	180
SHRUB, DECIDUOUS	#3 CONT., MIN. 12"-24"	3	0	0	133	399
SHRUB, EVERGREEN	#3 CONT., MIN. 12"-24"	4	0	0	15	60
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8"-18"	2	0	0	187	374
ORNAMENTAL / DECORATIVE FENCING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE	14 POINTS / CAL (MAXIMUM 200 POINTS PER TREE)	14	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICALLY ACCESSIBLE DEVELOPED AREA, CANNOT COMPRISE MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL				0		1,508
TOTAL NUMBER OF POINTS PROVIDED						1,508

GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE, NATURAL/BROWN SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: AREAS LABELED ON PLAN SHALL RECEIVE 1-1/2" WISCONSIN RIVER STONE BY MIDWEST DECORATIVE STONE (OR APPROVED EQUAL). STONE MULCH SHALL BE SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 6" DIAMETER ABOUT THE CENTER OF THE TREE. PLANTING A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

SEEDING, SODDING, & POND VEGETATION NOTES

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
- MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED CONTAINING EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- MATERIALS - BIORETENTION BASIN NATIVE VEGETATIVE MAT (NVM): AREAS SPECIFIED ON PLANS SHALL RECEIVE AGRECOL "RAINWATER RENEWAL" NATIVE VEGETATIVE MAT - DEGRADABLE CORE. CONTRACTOR SHALL CONTACT AGRECOL NATIVE NURSERY 16 WEEKS IN ADVANCE OF INSTALLATION FOR PROPER GROWING LEAD TIME. CONTRACTOR SHALL ASSUME AVAILABLE DELIVERY DATE TO BE BETWEEN MID-JUNE THROUGH THE END OF OCTOBER DUE TO THE NVM GROWING SEASON. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION PROCEDURES.

WARNER PARK COMMUNITY RECREATION CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704

CITY OF MADISON PARKS DIVISION
CITY-COUNTY BUILDING, ROOM 104
210 MARTIN LUTHER KING JR. BLVD
MADISON, WI 53703

PROJECT NUMBER 223471.00

ISSUED FOR:

BID SET 05/16/2024

REVISION FOR:

NO. DESCRIPTION DATE

DRAWN BY CHG/MRA

CHECKED BY KJY

LANDSCAPE DETAILS & NOTES

L200

WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704
CITY OF MADISON PARKS DIVISION
330 EAST LAKESIDE STREET
MADISON, WI 53715

PROJECT NUMBER 223471.00

ISSUED FOR:

BID SET 5/16/2024

REVISION FOR:

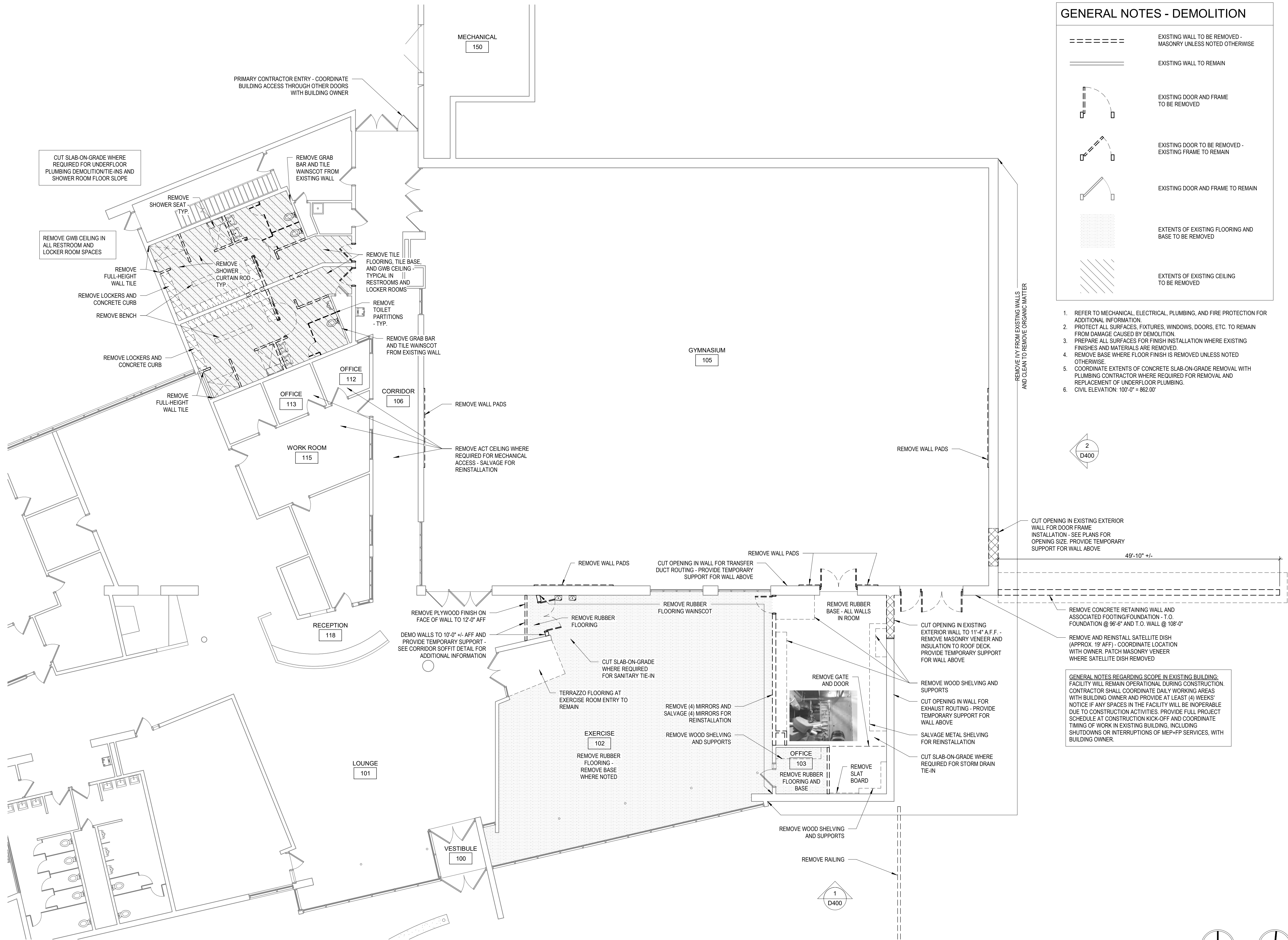
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DRAWN BY DKB

CHECKED BY JWH

DEMOLITION PLAN

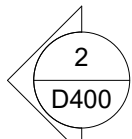
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GENERAL NOTES - DEMOLITION

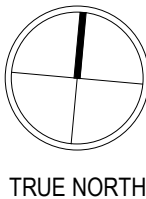
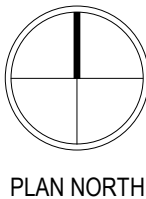
- EXISTING WALL TO BE REMOVED - MASONRY UNLESS NOTED OTHERWISE
- EXISTING WALL TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING DOOR TO BE REMOVED - EXISTING FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXTENTS OF EXISTING FLOORING AND BASE TO BE REMOVED
- EXTENTS OF EXISTING CEILING TO BE REMOVED

- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION FOR ADDITIONAL INFORMATION.
- PROTECT ALL SURFACES, FIXTURES, WINDOWS, DOORS, ETC. TO REMAIN FROM DAMAGE CAUSED BY DEMOLITION.
- PREPARE ALL SURFACES FOR FINISH INSTALLATION WHERE EXISTING FINISHES AND MATERIALS ARE REMOVED.
- REMOVE BASE WHERE FLOOR FINISH IS REMOVED UNLESS NOTED OTHERWISE.
- COORDINATE EXTENTS OF CONCRETE SLAB-ON-GRADE REMOVAL WITH PLUMBING CONTRACTOR WHERE REQUIRED FOR REMOVAL AND REPLACEMENT OF UNDERFLOOR PLUMBING.
- CIVIL ELEVATION: 100'-0" = 862.00'



- CUT OPENING IN EXISTING EXTERIOR WALL FOR DOOR FRAME INSTALLATION - SEE PLANS FOR OPENING SIZE. PROVIDE TEMPORARY SUPPORT FOR WALL ABOVE
- 49'-10" +/-
- REMOVE CONCRETE RETAINING WALL AND ASSOCIATED FOOTING/FOUNDATION - T.O. FOUNDATION @ 96'-6" AND T.O. WALL @ 108'-0"
- REMOVE AND REINSTALL SATELLITE DISH (APPROX. 19' AFF) - COORDINATE LOCATION WITH OWNER. PATCH MASONRY VENEER WHERE SATELLITE DISH REMOVED

GENERAL NOTES REGARDING SCOPE IN EXISTING BUILDING: FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE DAILY WORKING AREAS WITH BUILDING OWNER AND PROVIDE AT LEAST (4) WEEKS' NOTICE IF ANY SPACES IN THE FACILITY WILL BE INOPERABLE DUE TO CONSTRUCTION ACTIVITIES. PROVIDE FULL PROJECT SCHEDULE AT CONSTRUCTION KICK-OFF AND COORDINATE TIMING OF WORK IN EXISTING BUILDING, INCLUDING SHUTDOWNS OR INTERRUPTIONS OF MEP+FP SERVICES, WITH BUILDING OWNER.



WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704
CITY OF MADISON PARKS DIVISION
330 EAST LAKESIDE STREET
MADISON, WI 53715

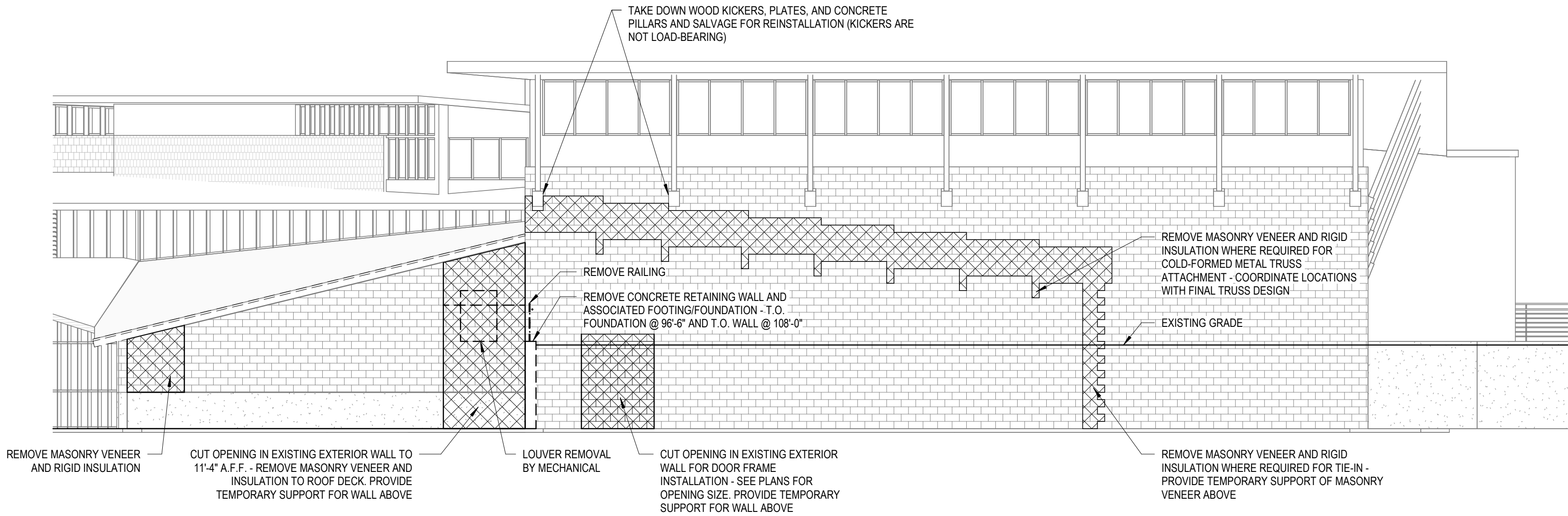
PROJECT NUMBER223471.00

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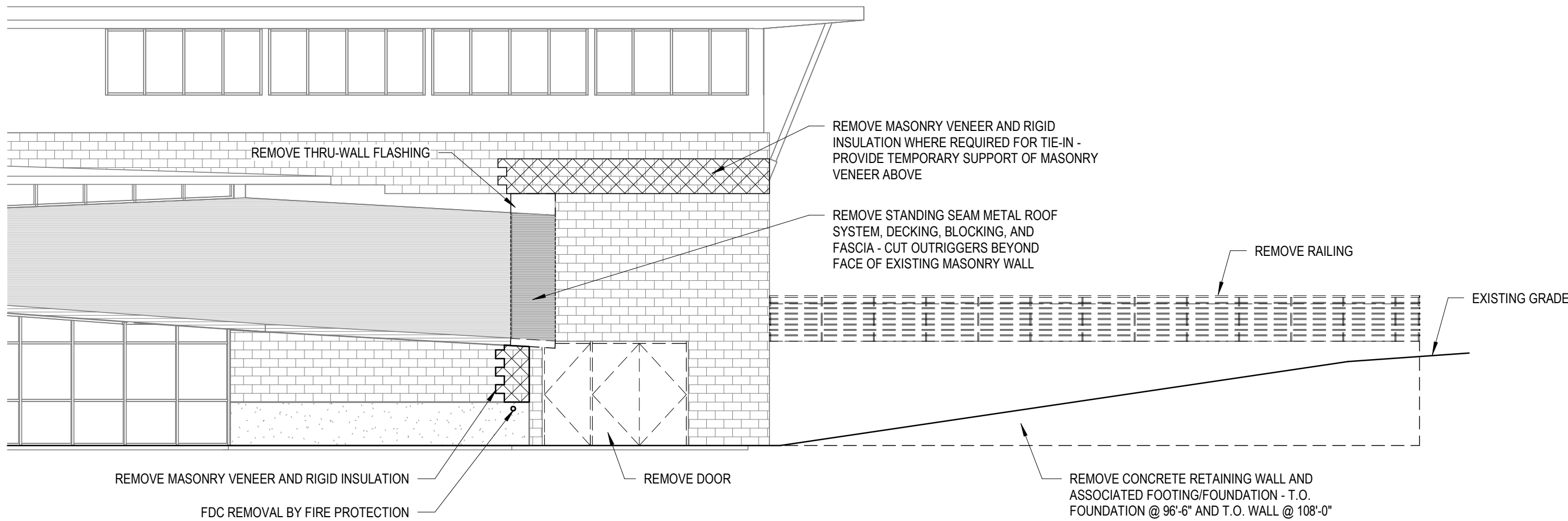
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CHECKED BY	JWH

DEMOLITION
ELEVATIONS

D400



2 EAST DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH DEMOLITION ELEVATION
SCALE: 1/8" = 1'-0"

WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704
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330 EAST LAKESIDE STREET
MADISON, WI 53715

PROJECT NUMBER 223471.00

ISSUED FOR:

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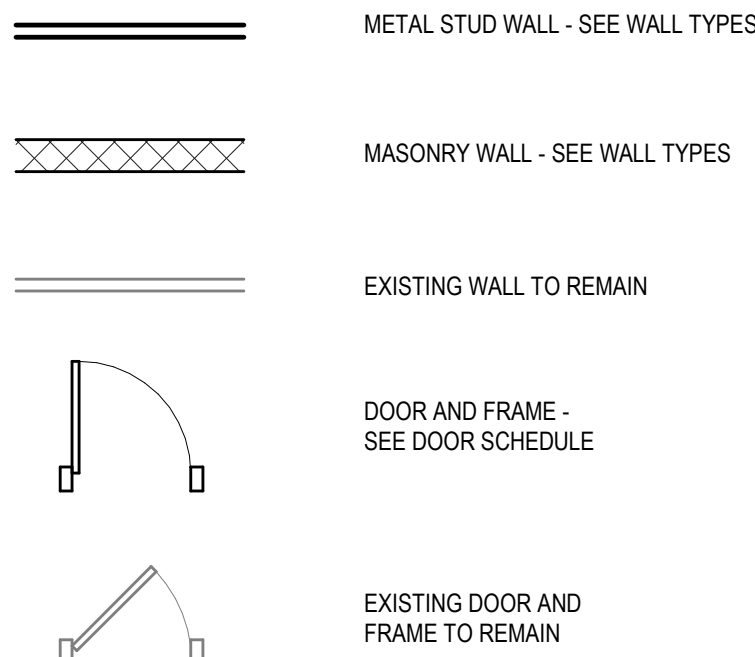
NO.	DESCRIPTION	DATE
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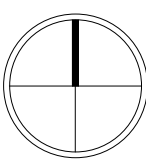
CHECKED BY JWH

OVERALL FLOOR PLAN

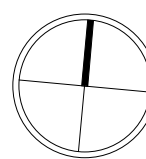
GENERAL NOTES - FLOOR PLANS



1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION FOR ADDITIONAL INFORMATION.
2. SEE SHEET D101 FOR NOTES REGARDING CONTRACTOR ACCESS AND CONSTRUCTION ACTIVITIES WITHIN THE EXISTING BUILDING.
3. INFILL AND PATCH EXISTING WALLS IN LOCATIONS WHERE WALLS AND ITEMS WERE REMOVED FROM WALLS TO REMAIN. PATCH AND REPAIR EXISTING WALLS, CEILINGS, AND FLOORS WHERE WALLS AND OTHER ITEMS WERE REMOVED DURING DEMOLITION TO MATCH ORIGINAL.
4. COORDINATE OPENINGS IN EXISTING WALLS WITH DEMOLITION CONTRACTOR.
5. REPLACE CONCRETE SLAB-ON-GRADE WHERE REMOVED FOR PLUMBING ACCESS.
6. DIMENSIONS ARE TO FACE OF CMU OR FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.
7. LOCATE DOOR FRAMES 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
8. ALL OUTSIDE CORNERS OF CMU AT INTERIOR TO BE BULLNOSED.
9. CIVIL ELEVATION: 100'-0" = 862.00'

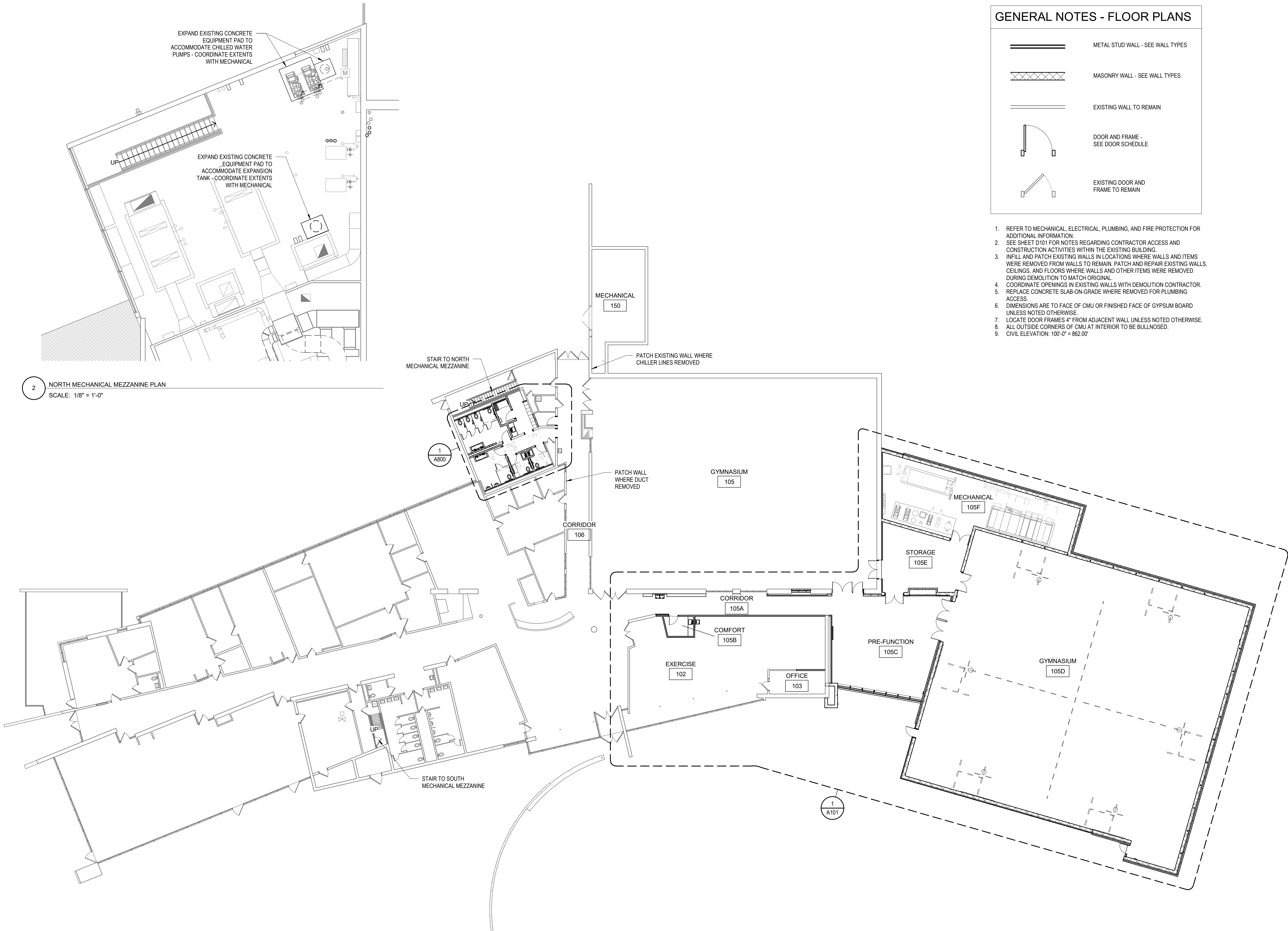


PLAN NORTH



TRUE NORTH

A100



2 NORTH MECHANICAL MEZZANINE PLAN
SCALE: 1/8" = 1'-0"

1 OVERALL FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

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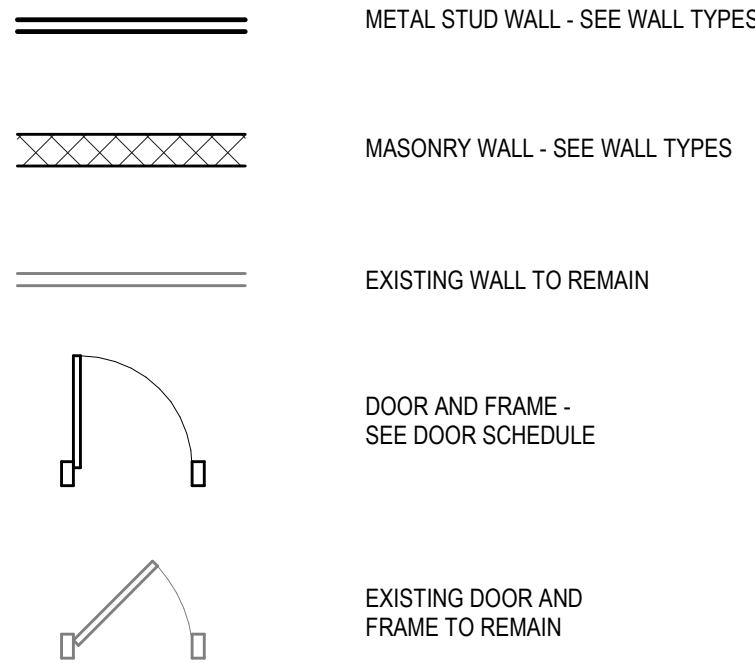
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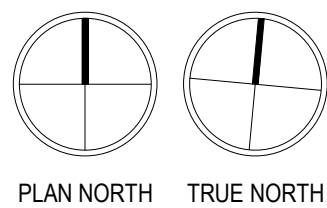
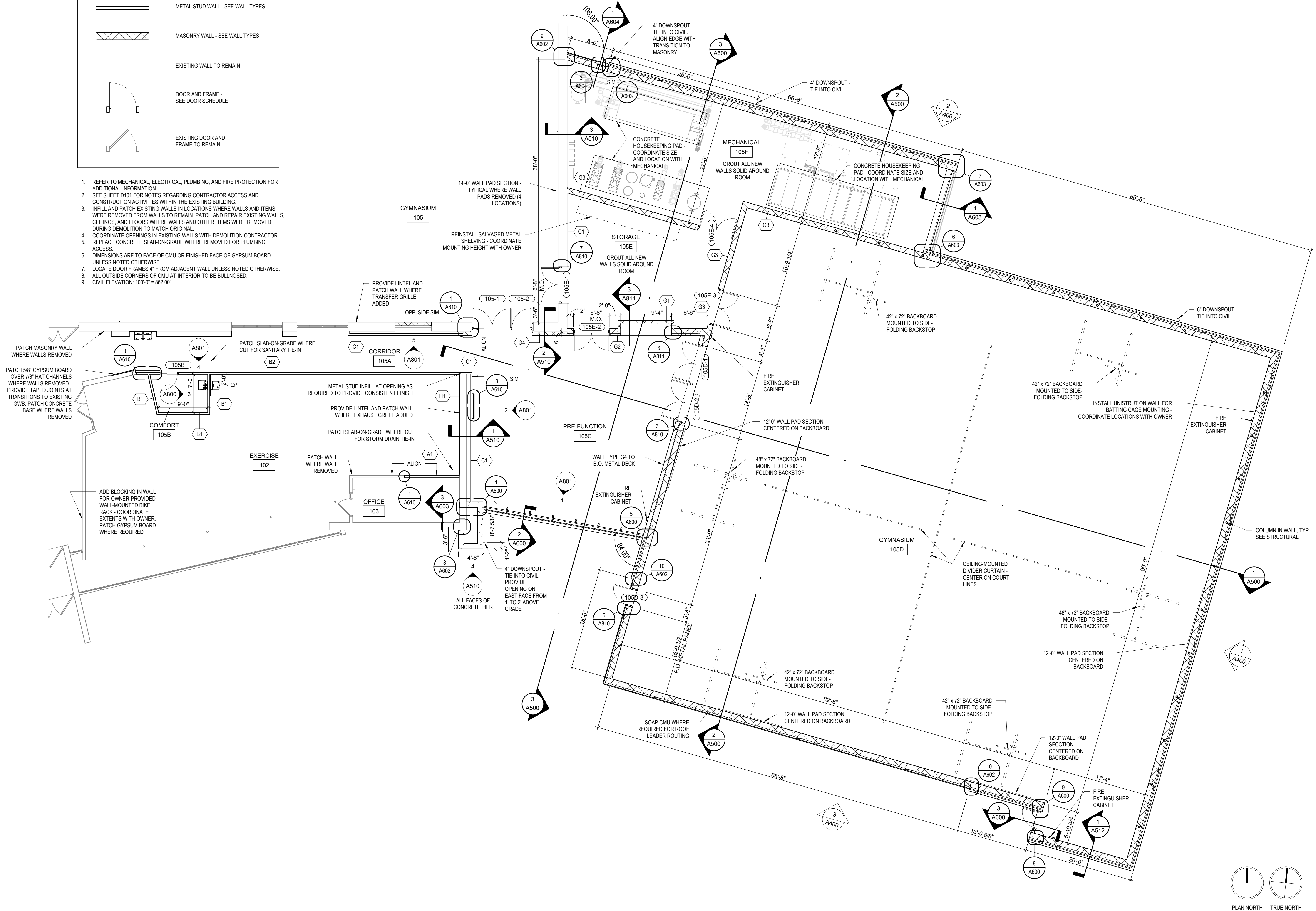
EXPANSION FLOOR PLAN

A101

GENERAL NOTES - FLOOR PLANS



1. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION FOR ADDITIONAL INFORMATION.
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8. ALL OUTSIDE CORNERS OF CMU AT INTERIOR TO BE BULLNOSED.
9. CIVIL ELEVATION: 100'-0" = 862.00'



WARNER PARK
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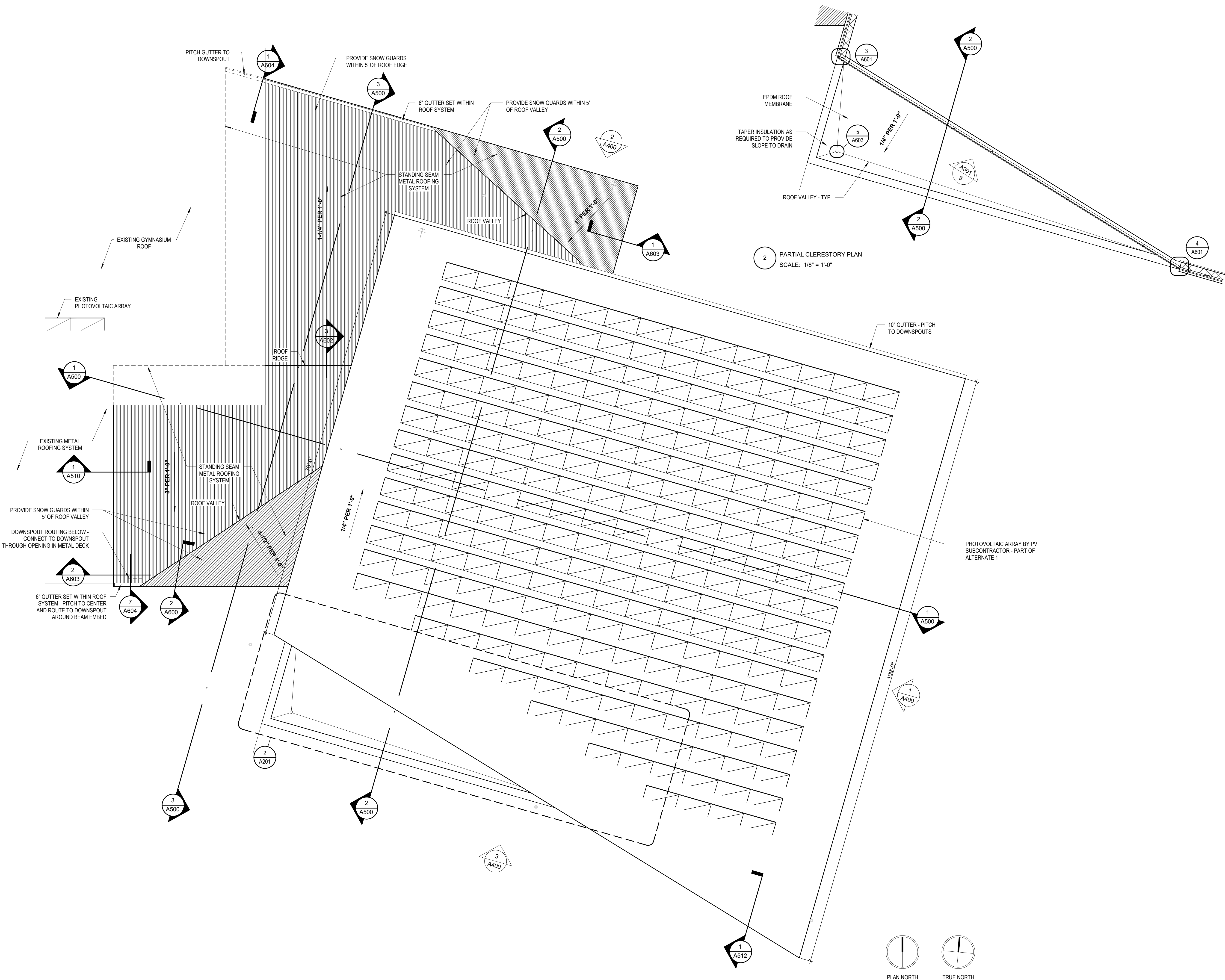
REVISION FOR:

NO.	DESCRIPTION	DATE
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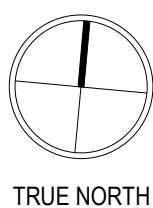
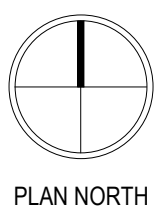
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EXPANSION ROOF PLAN



1 EXPANSION ROOF PLAN
SCALE: 1/8" = 1'-0"



A201

WARNER PARK
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REVISION FOR:

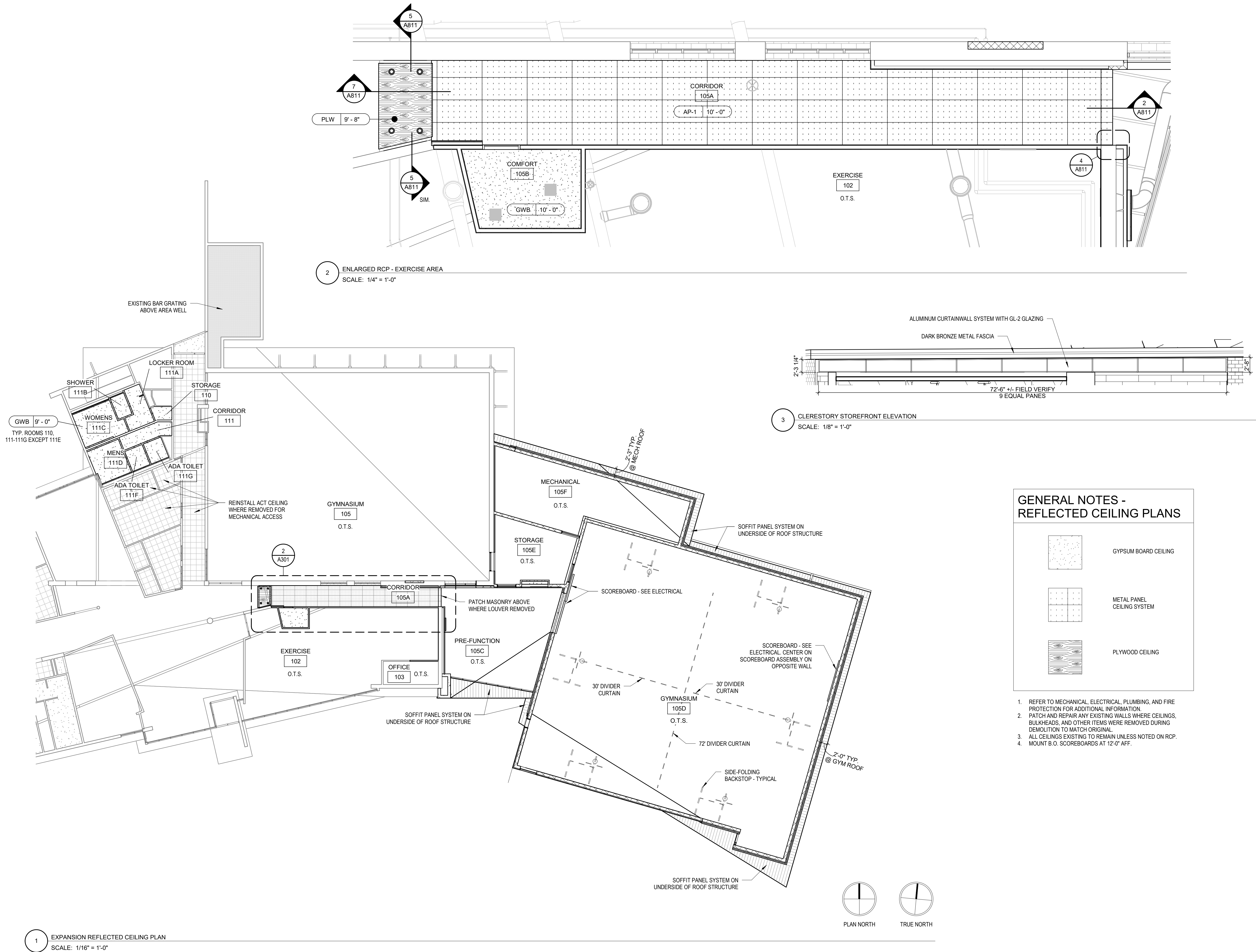
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EXPANSION REFLECTED
CEILING PLAN

A301



WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

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330 EAST LAKESIDE STREET
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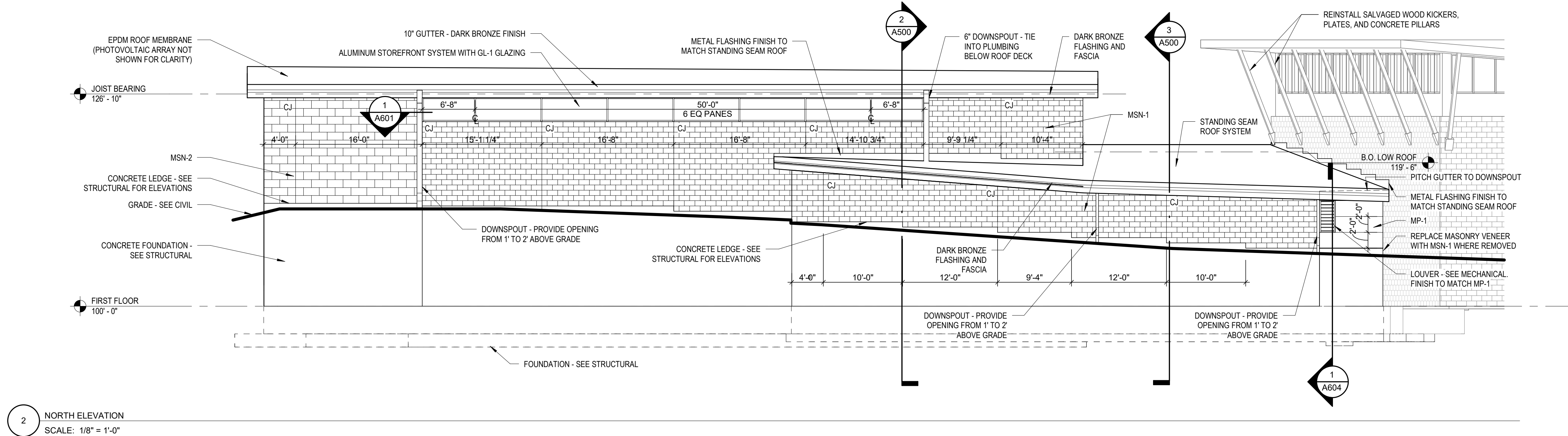
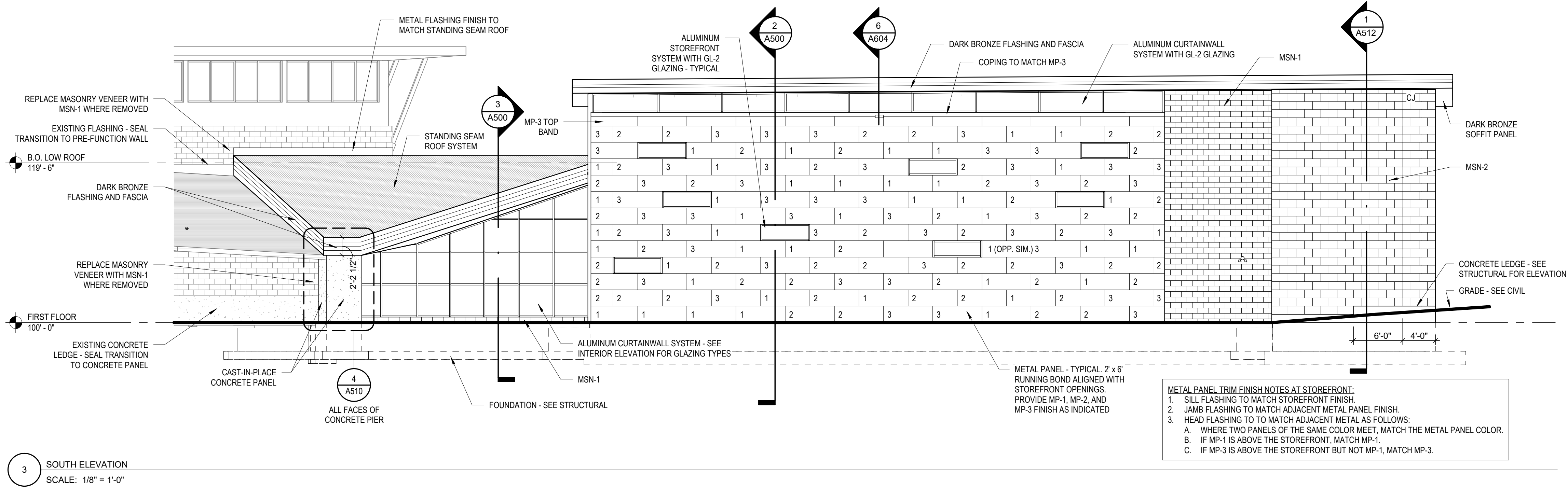
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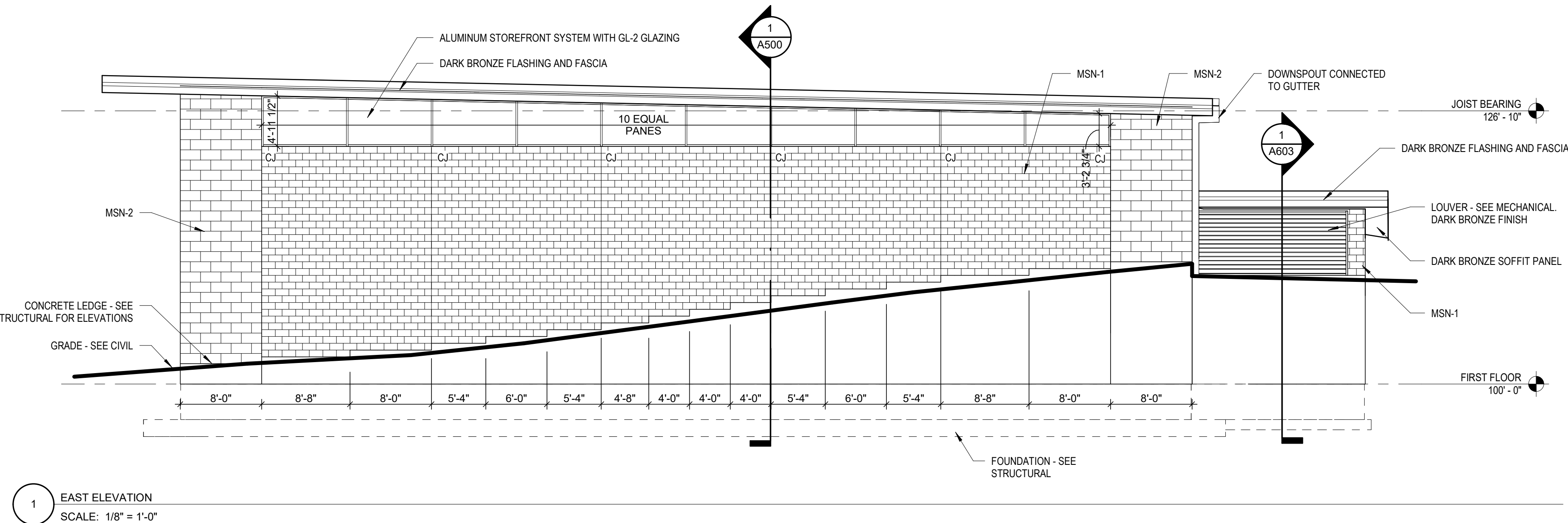
CHECKED BY JWH

EXTERIOR ELEVATIONS

A400



EXTERIOR FINISH LEGEND	
MSN-1	COUNTY MATERIALS DECORATIVE CONCRETE MASONRY COLOR: 18-1210 BISQUE (MATCHED TO EXISTING) TEXTURE: SPLITFACE 8" x 16" RUNNING BOND PATTERN
MSN-2	ARRISCRAFT THIN-CLAD RENAISSANCE UNITS COLOR: OAK RIDGE TEXTURE: SMOOTH 12" x 24" RUNNING BOND PATTERN
MP-1	DRI-DESIGN EN-V METAL PANEL SYSTEM COLOR: EN-V 008 CITYSCAPE 24" x 72" RUNNING BOND PATTERN
MP-2	DRI-DESIGN EN-V METAL PANEL SYSTEM COLOR: EN-V 005 SIERRA TAN 24" x 72" RUNNING BOND PATTERN
MP-3	DRI-DESIGN EN-V METAL PANEL SYSTEM COLOR: EN-V 009 SLATE GRAY 24" x 72" RUNNING BOND PATTERN





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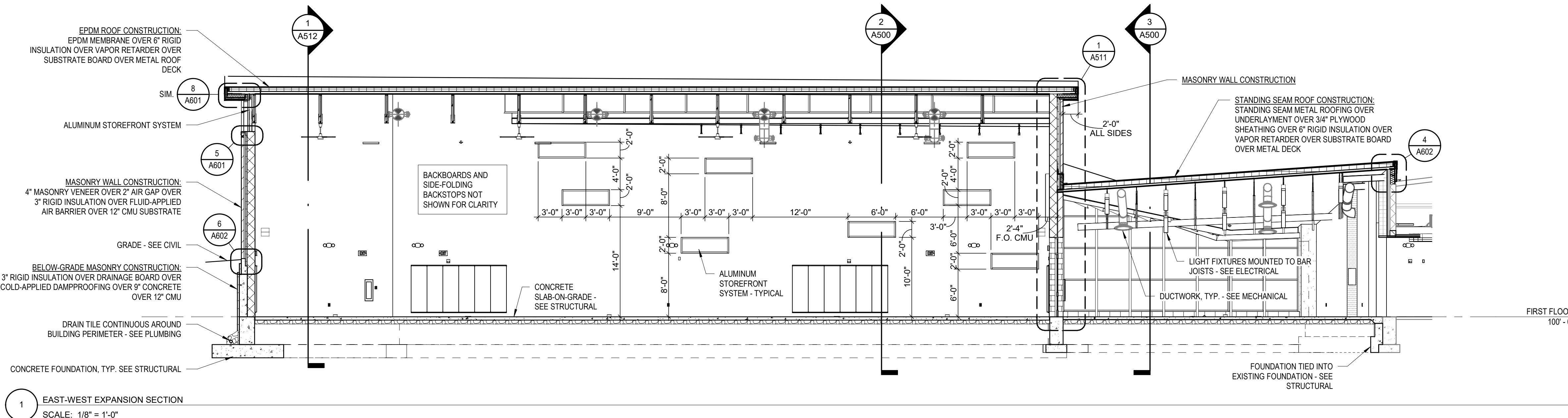
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A500



WARNER PARK
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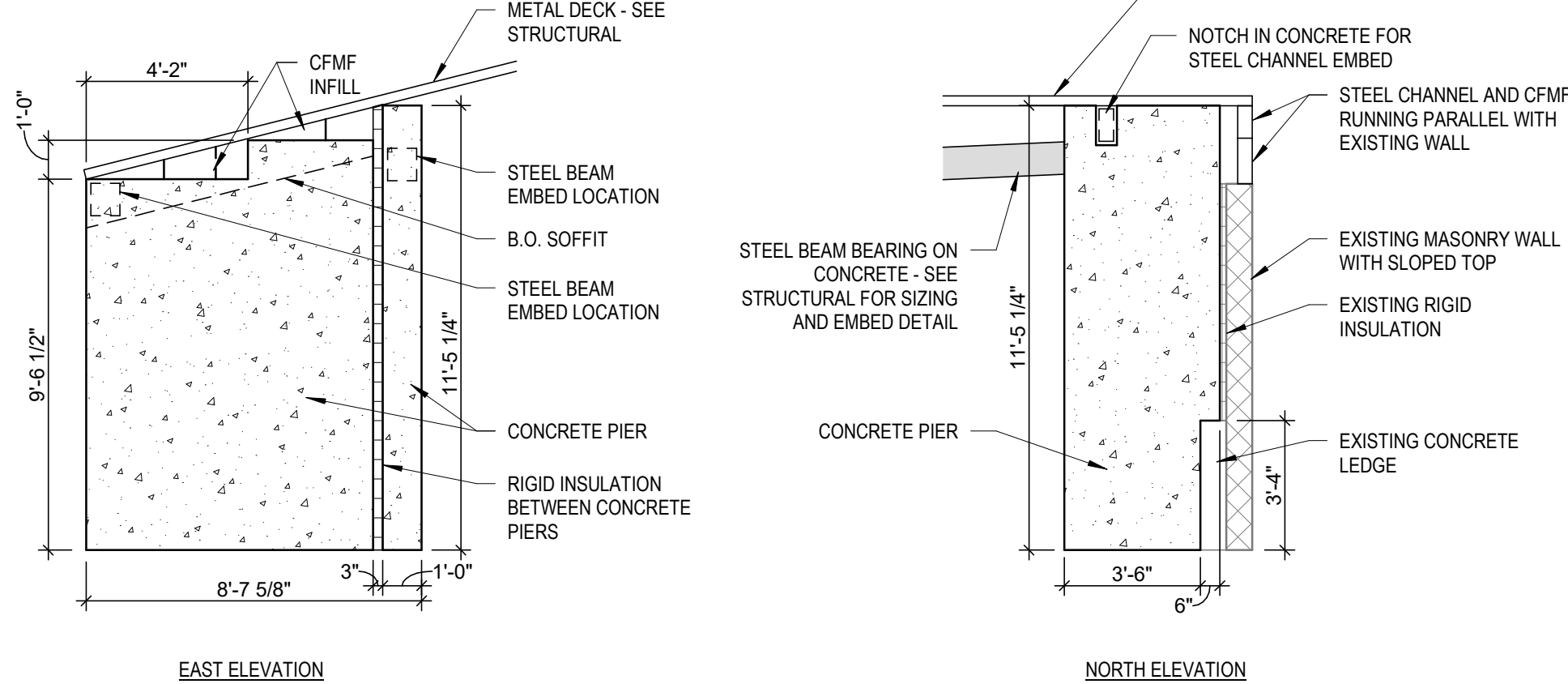
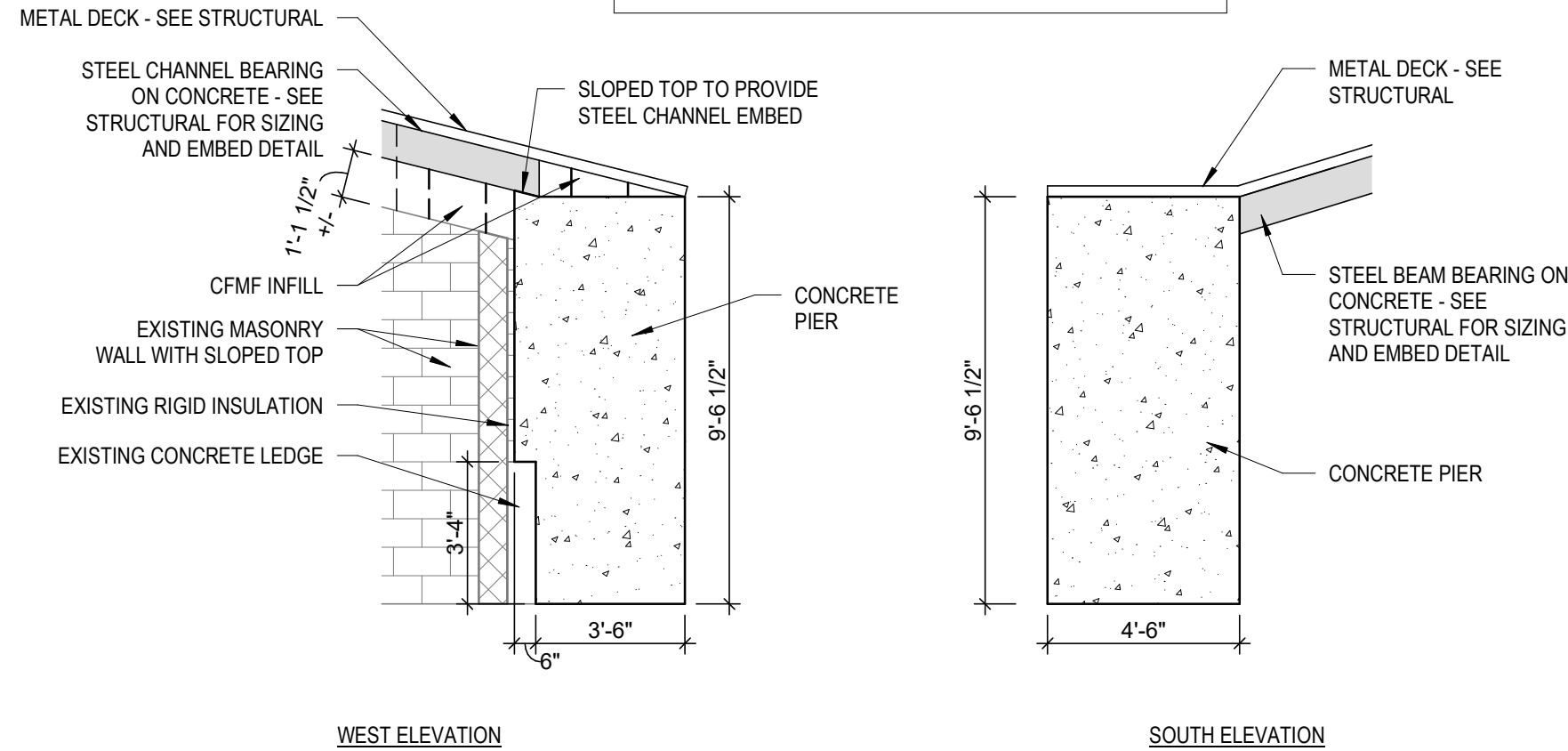
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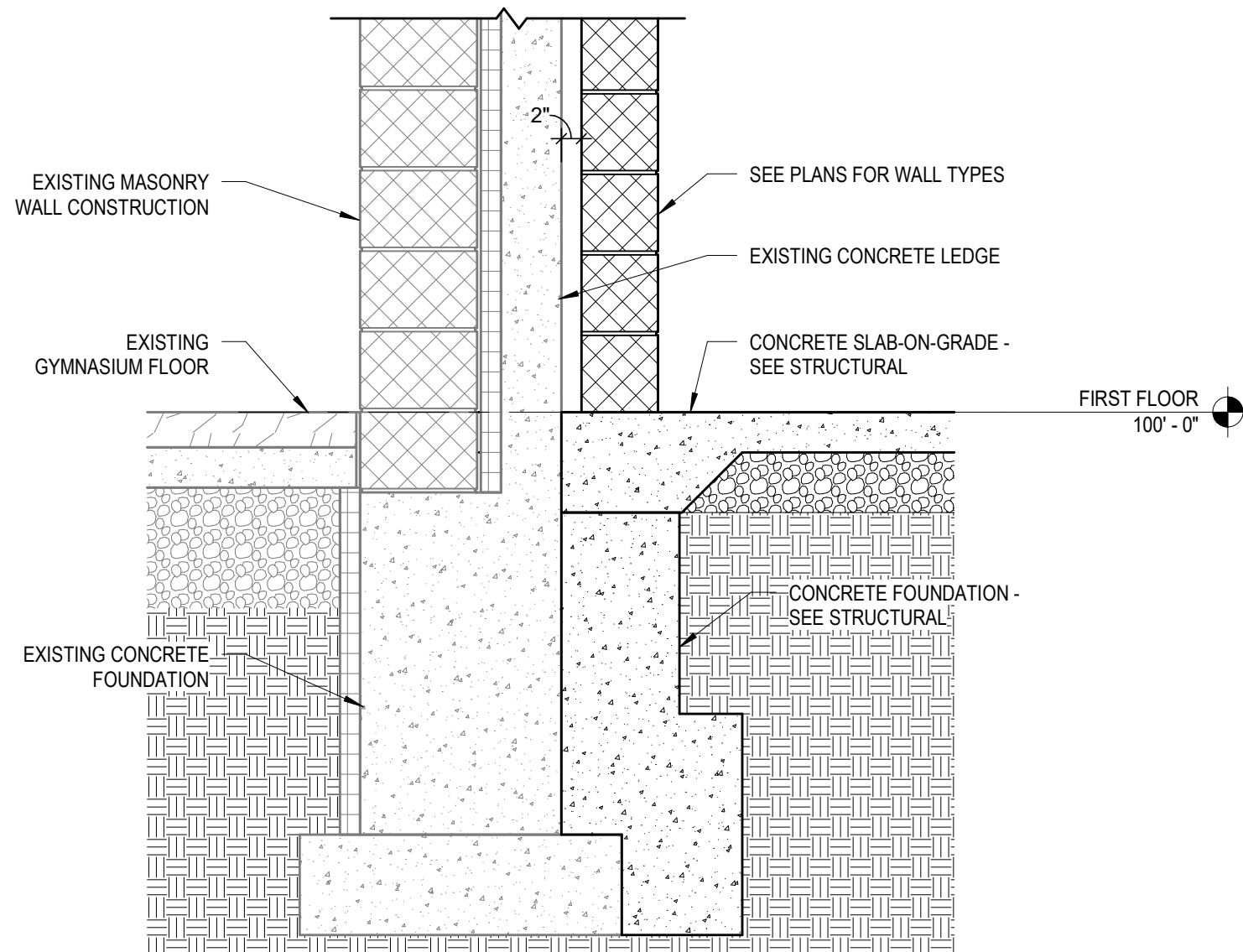
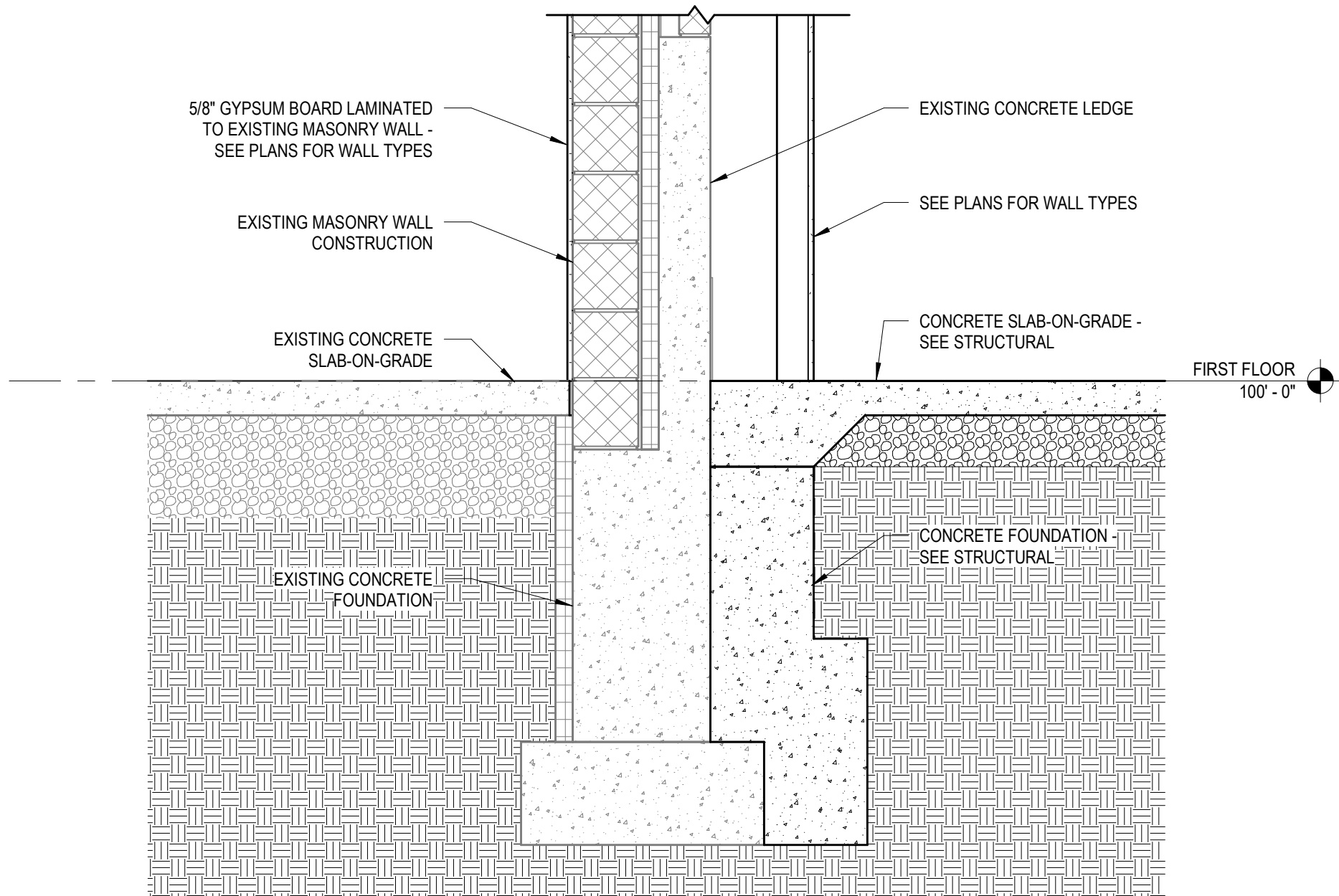
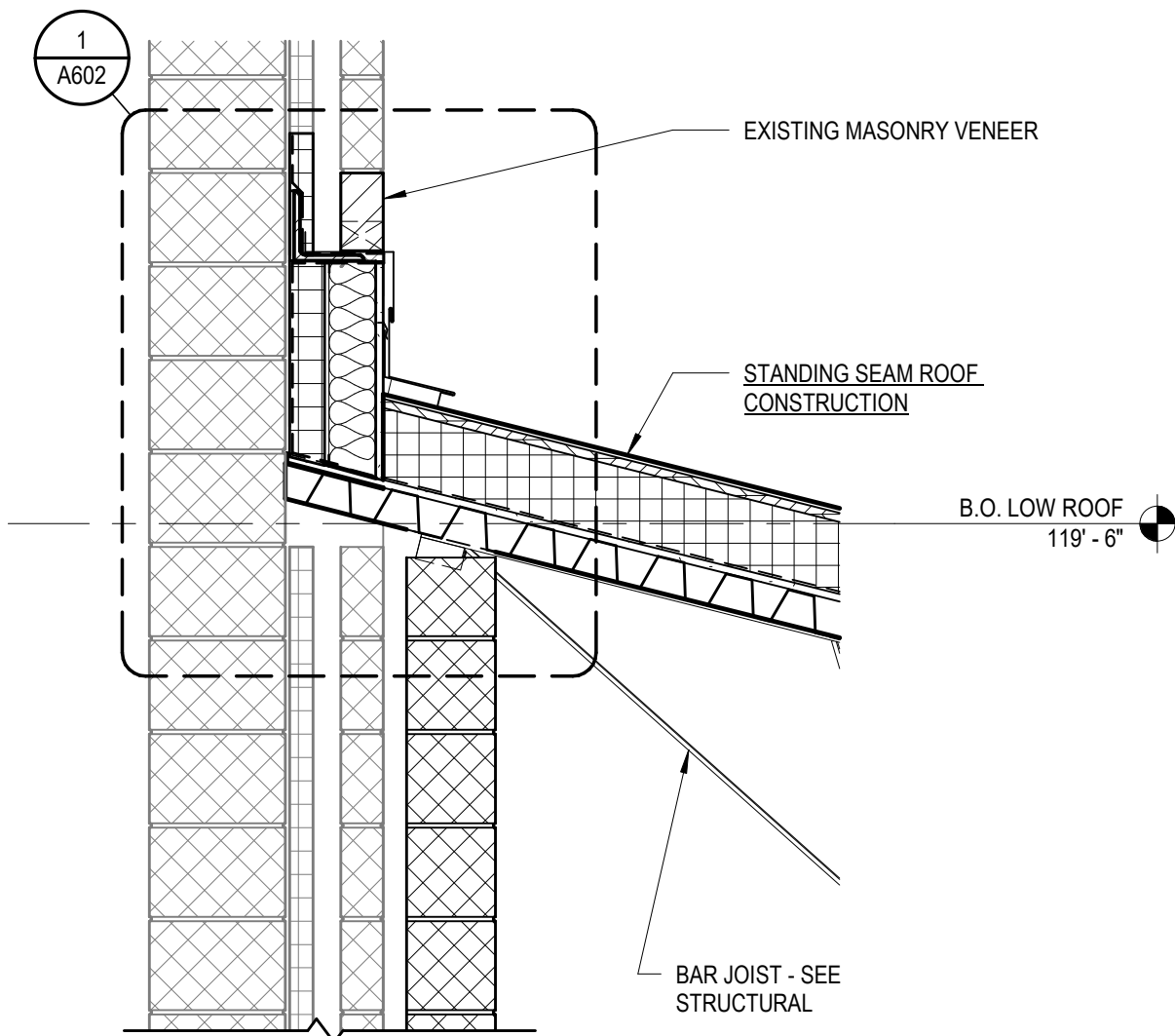
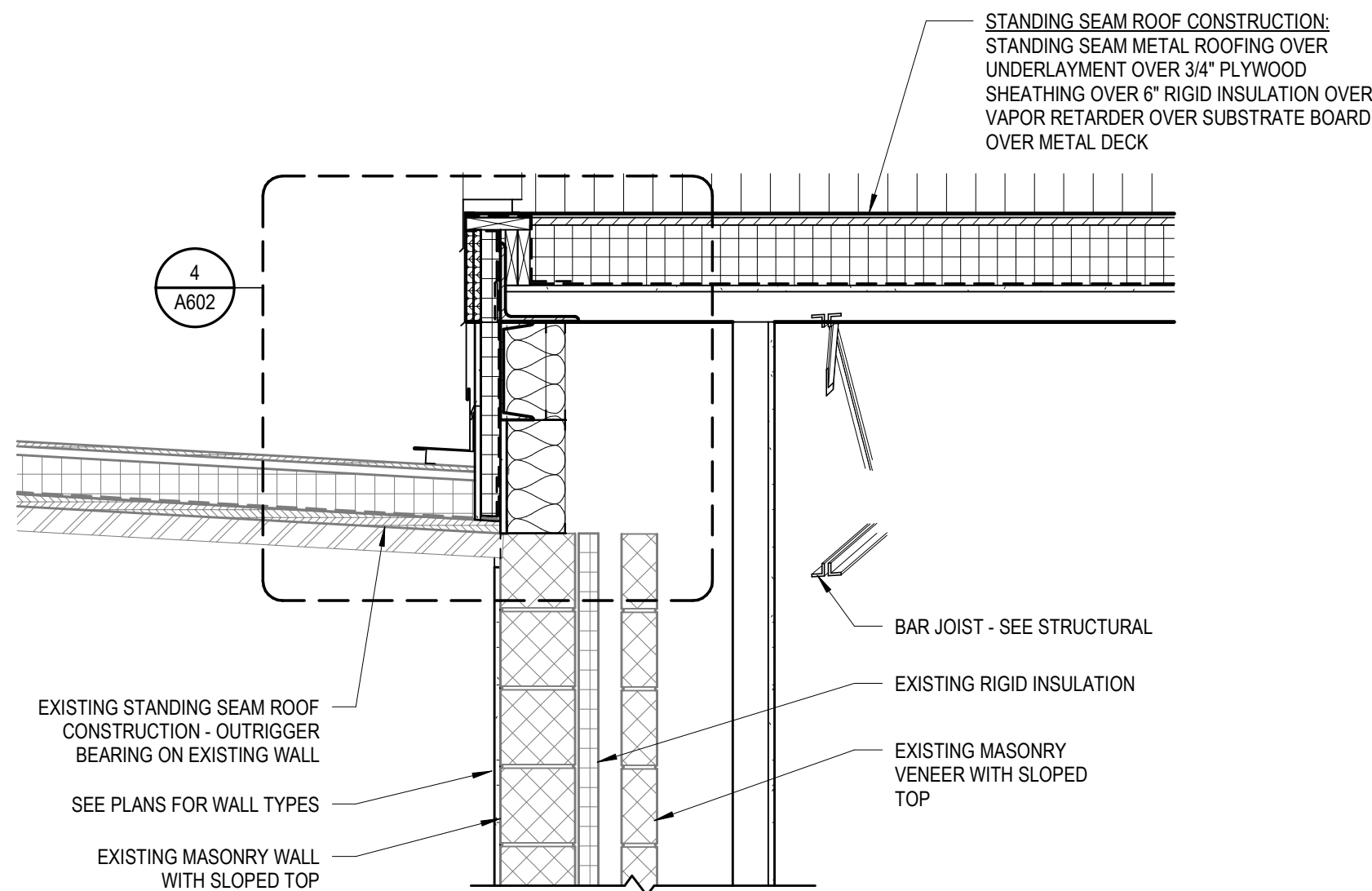
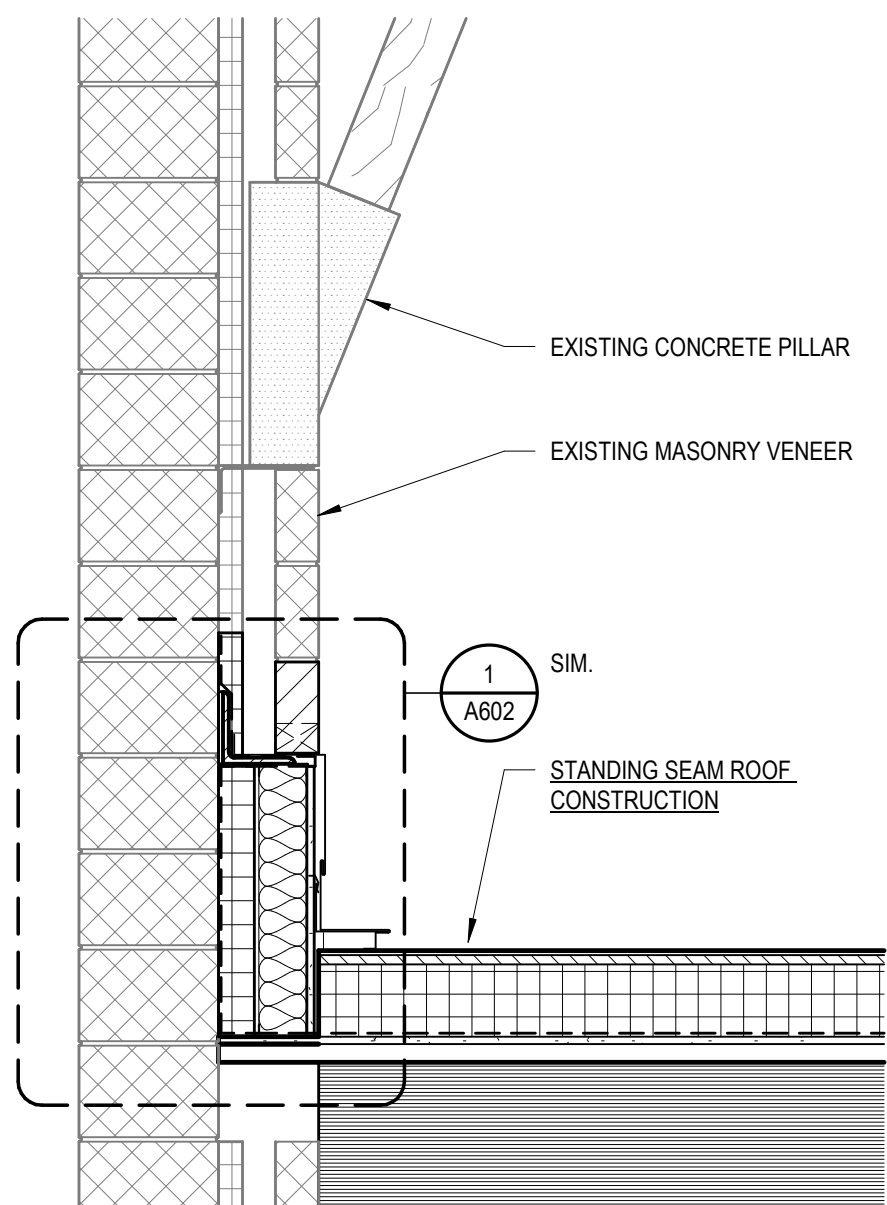
WALL SECTIONS

A510

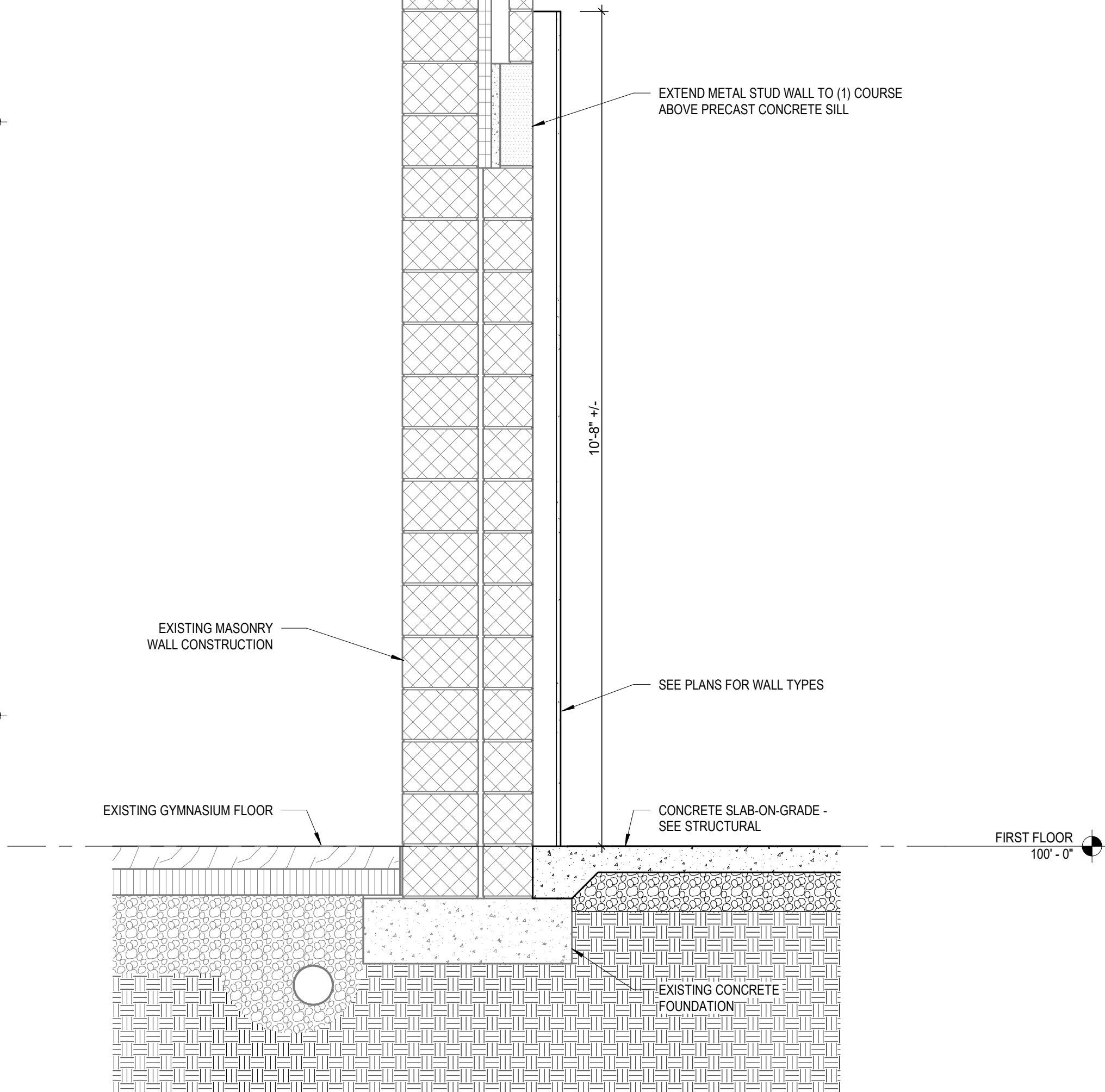
NOTE: ELEVATIONS ARE TO SHOW PROFILES OF CONCRETE WALLS AND CONNECTION POINT LOCATIONS TO STRUCTURAL AND EXISTING ELEMENTS. SEE PLANS AND DETAILS FOR ADDITIONAL INFORMATION.



4 CONCRETE PIER ELEVATIONS
SCALE: 1/4" = 1'-0"



2 EXISTING SOUTH GYM WALL SECTION
SCALE: 3/4" = 1'-0"



3 EXISTING EAST GYM WALL SECTION
SCALE: 3/4" = 1'-0"

1 EXISTING EXERCISE WALL SECTION
SCALE: 3/4" = 1'-0"

WARNER PARK
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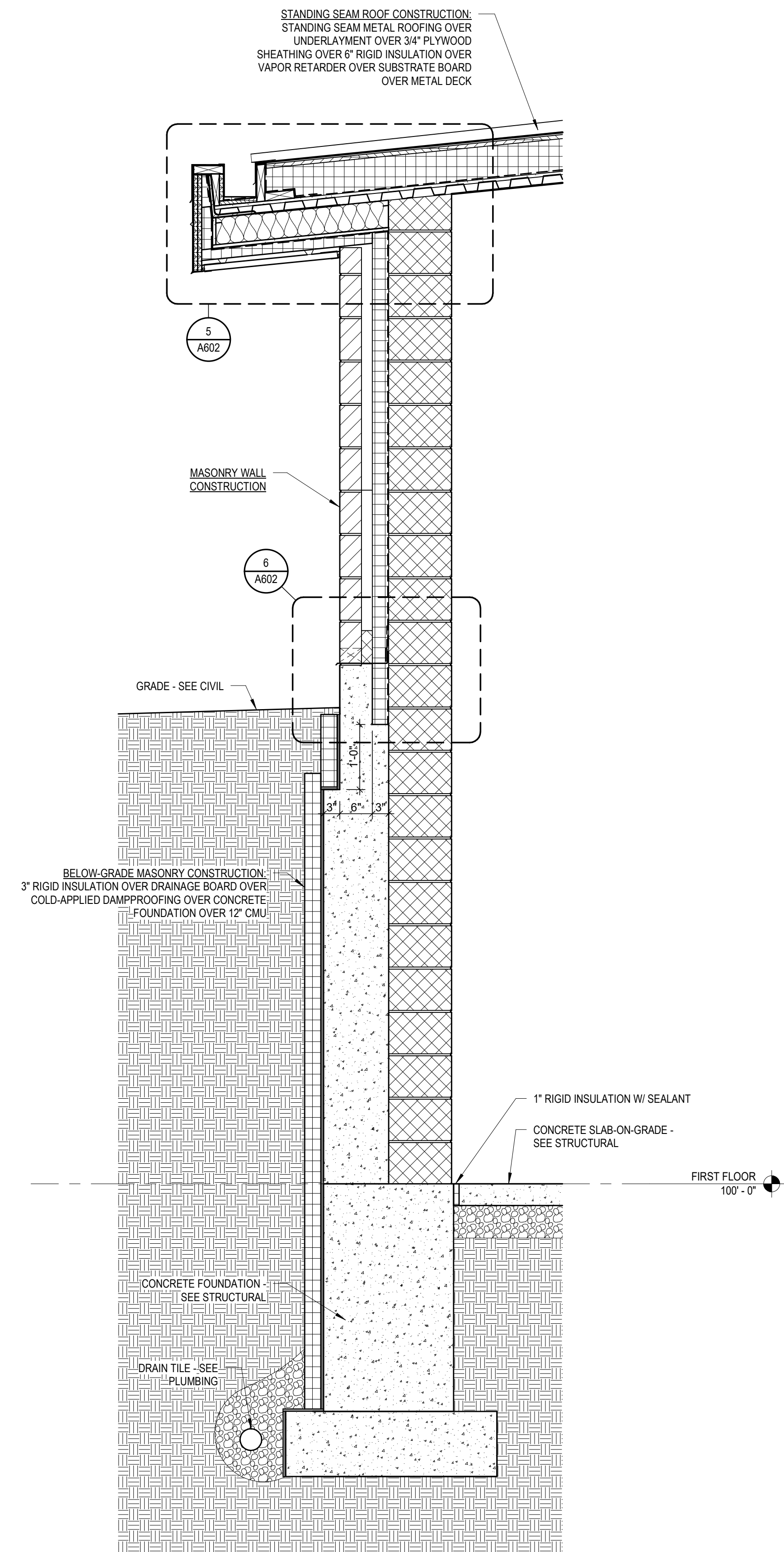
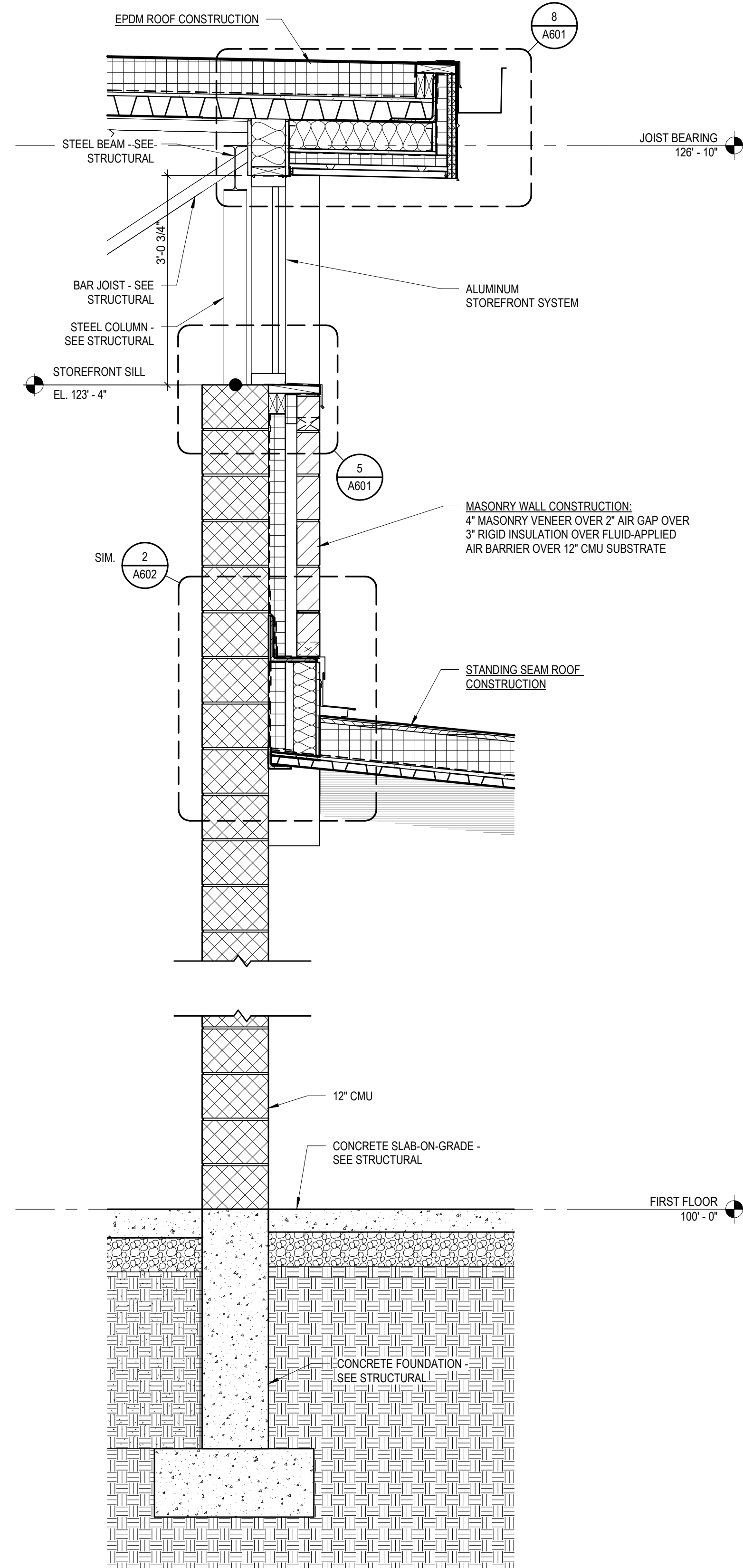
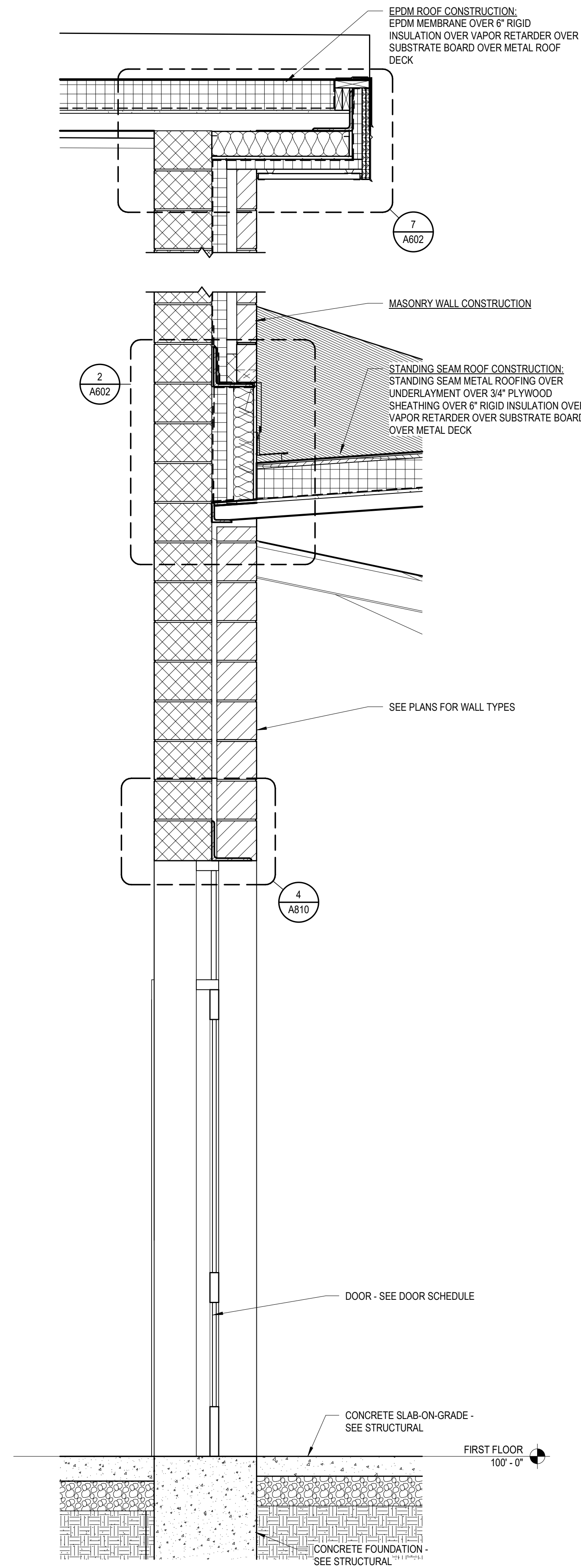
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WALL SECTIONS



WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

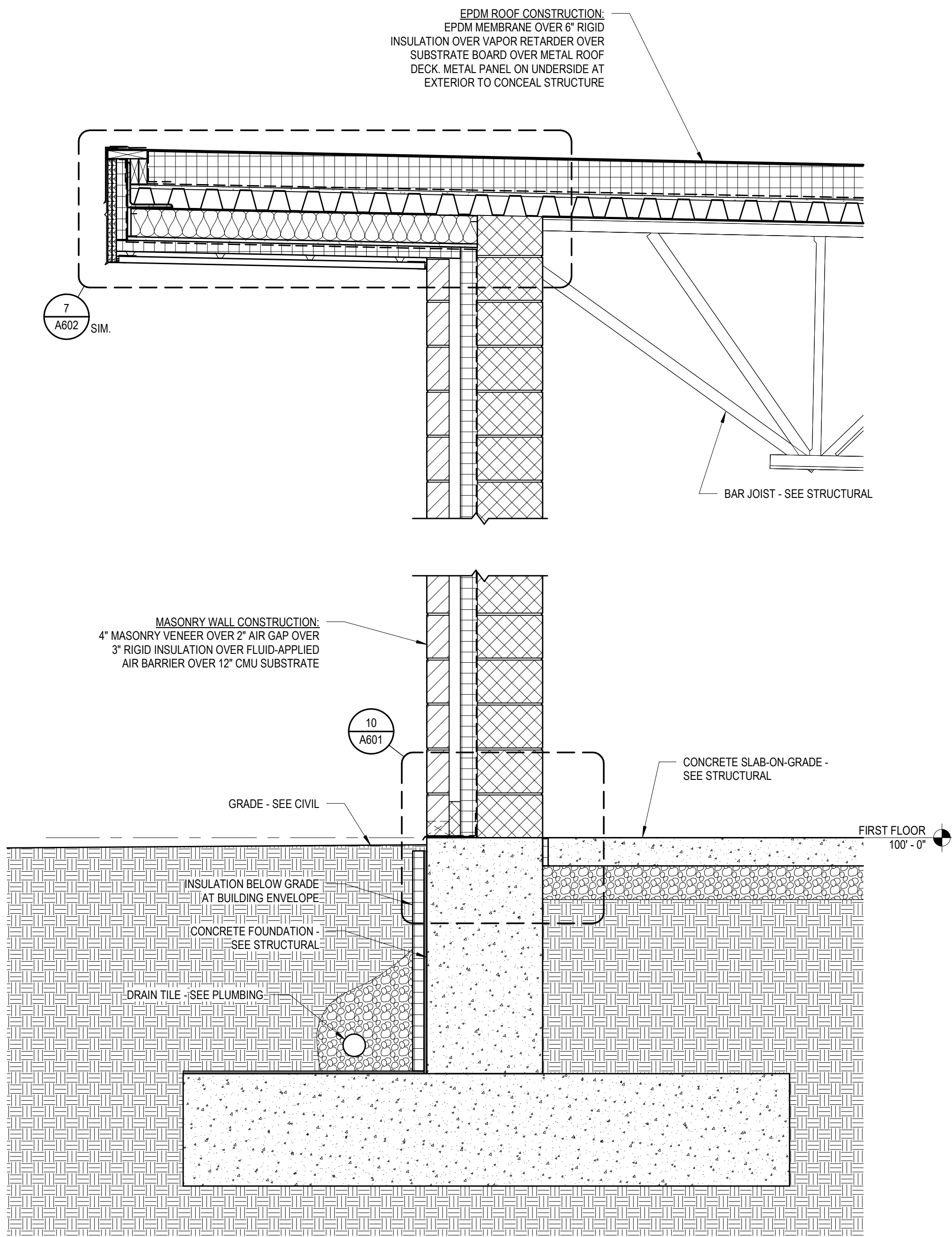
1625 NORTHPORT DRIVE
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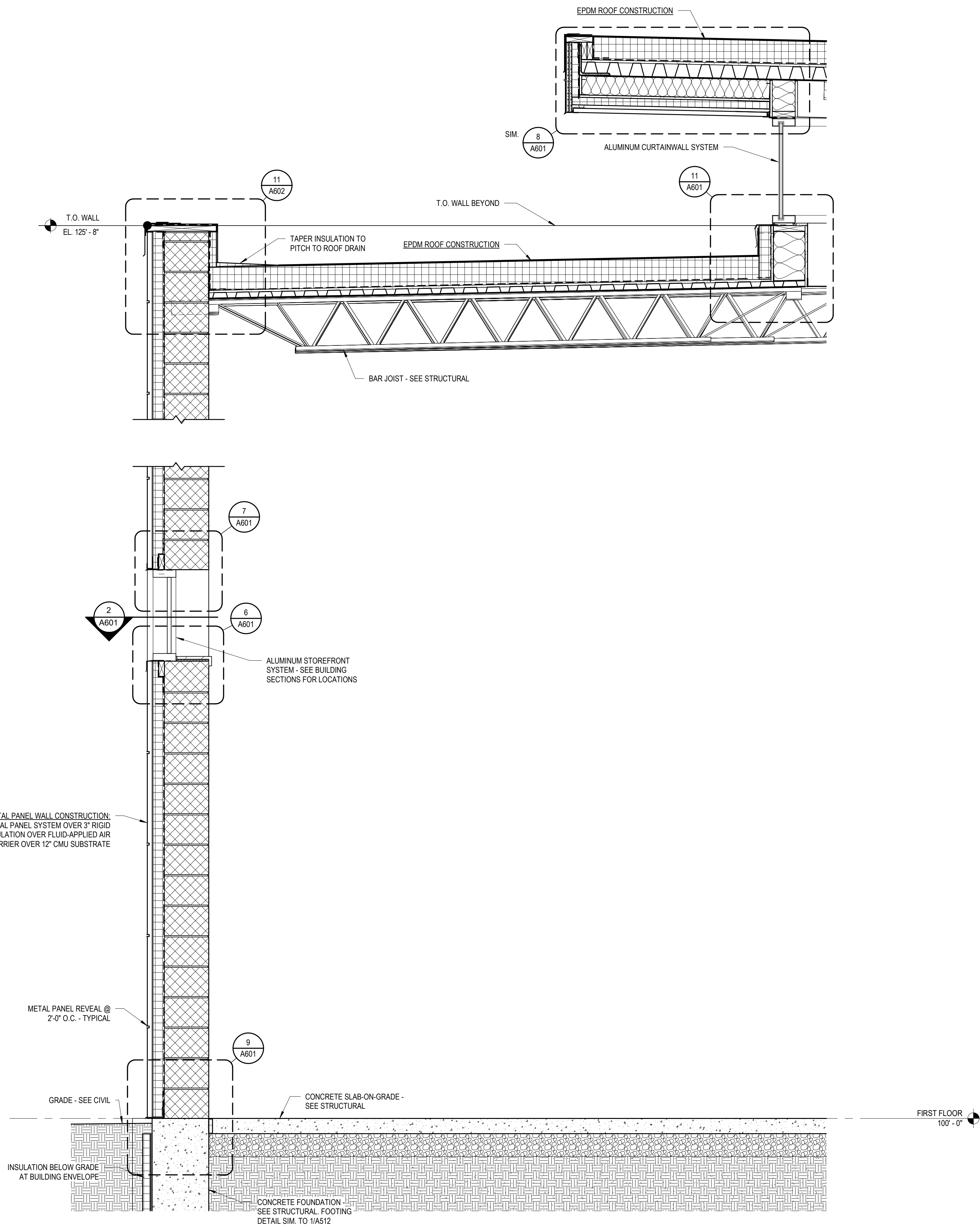
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WALL SECTIONS



1 GYMNASIUM WALL SECTION
SCALE: 3/4" = 1'-0"



2 METAL PANEL WALL SECTION
SCALE: 3/4" = 1'-0"

A512

WARNER PARK
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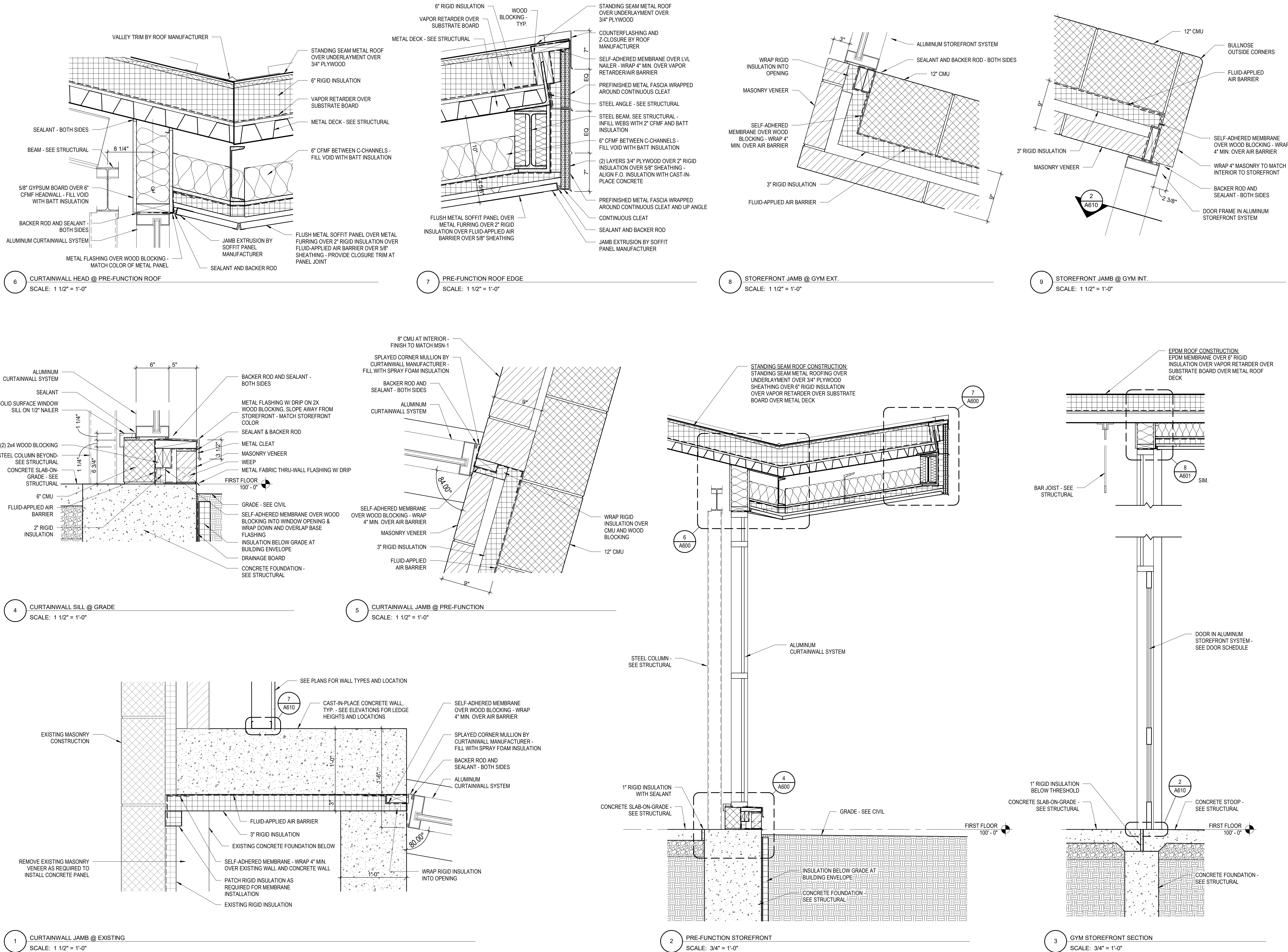
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EXTERIOR DETAILS

A600



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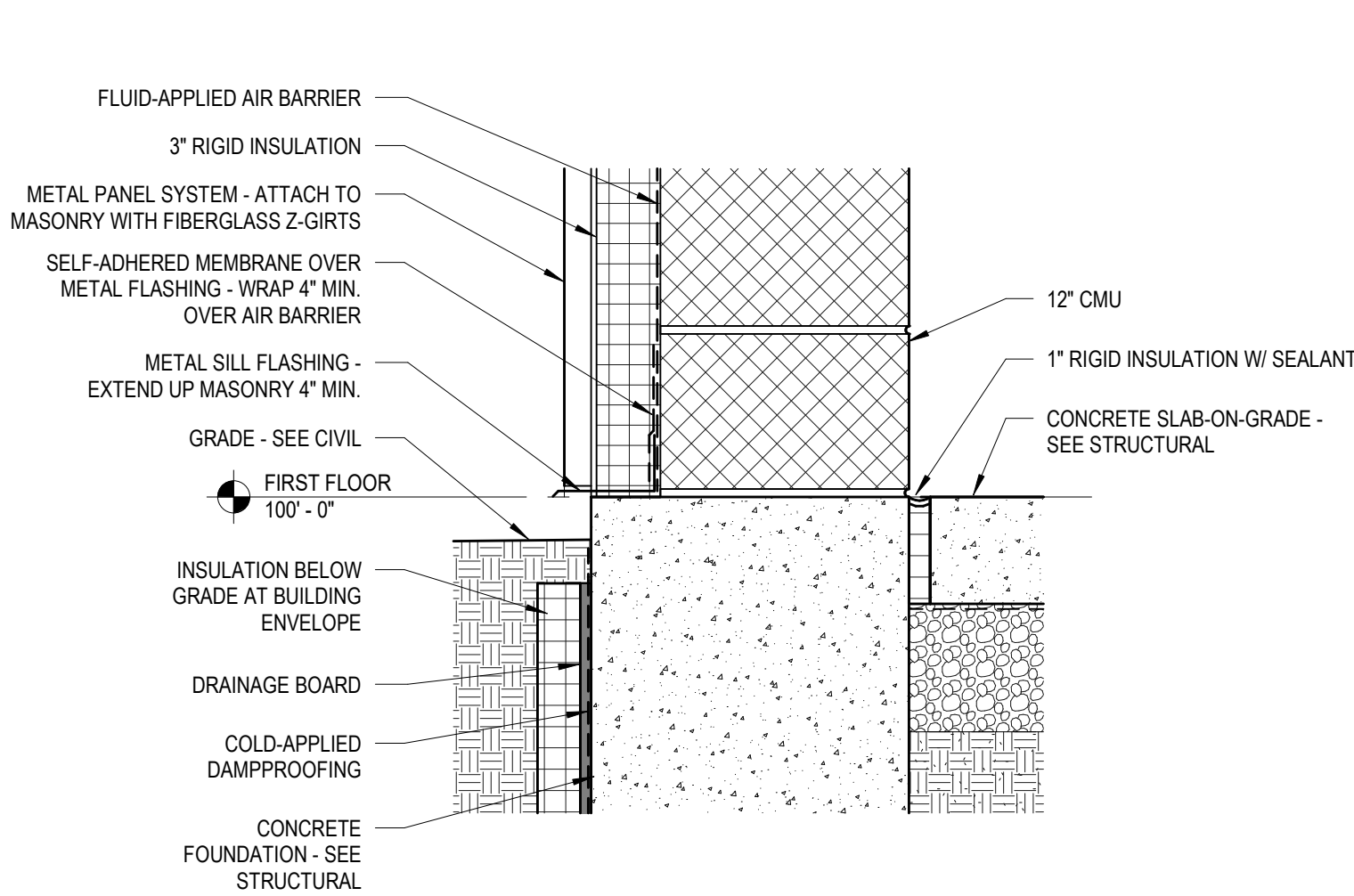
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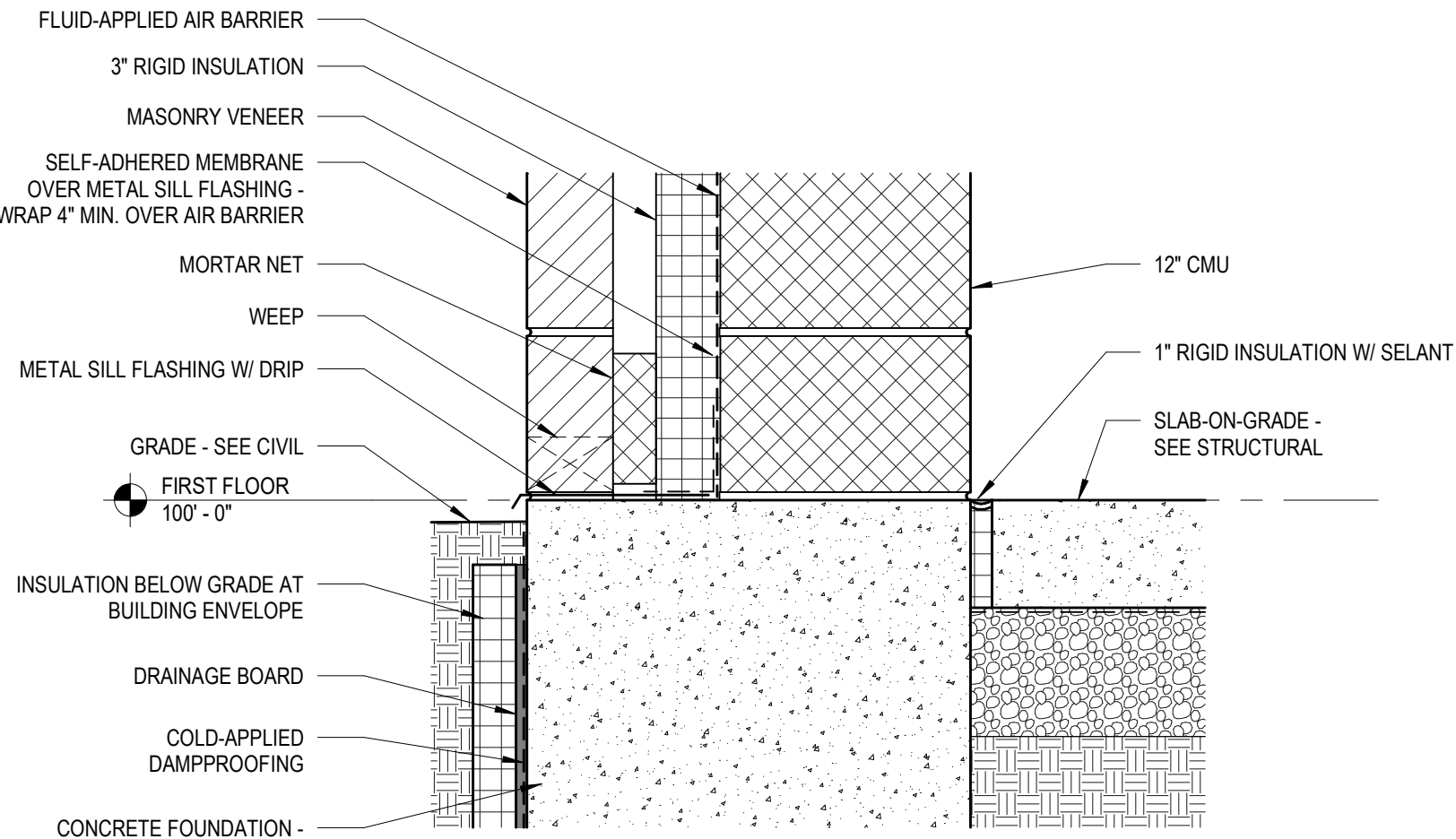
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EXTERIOR DETAILS

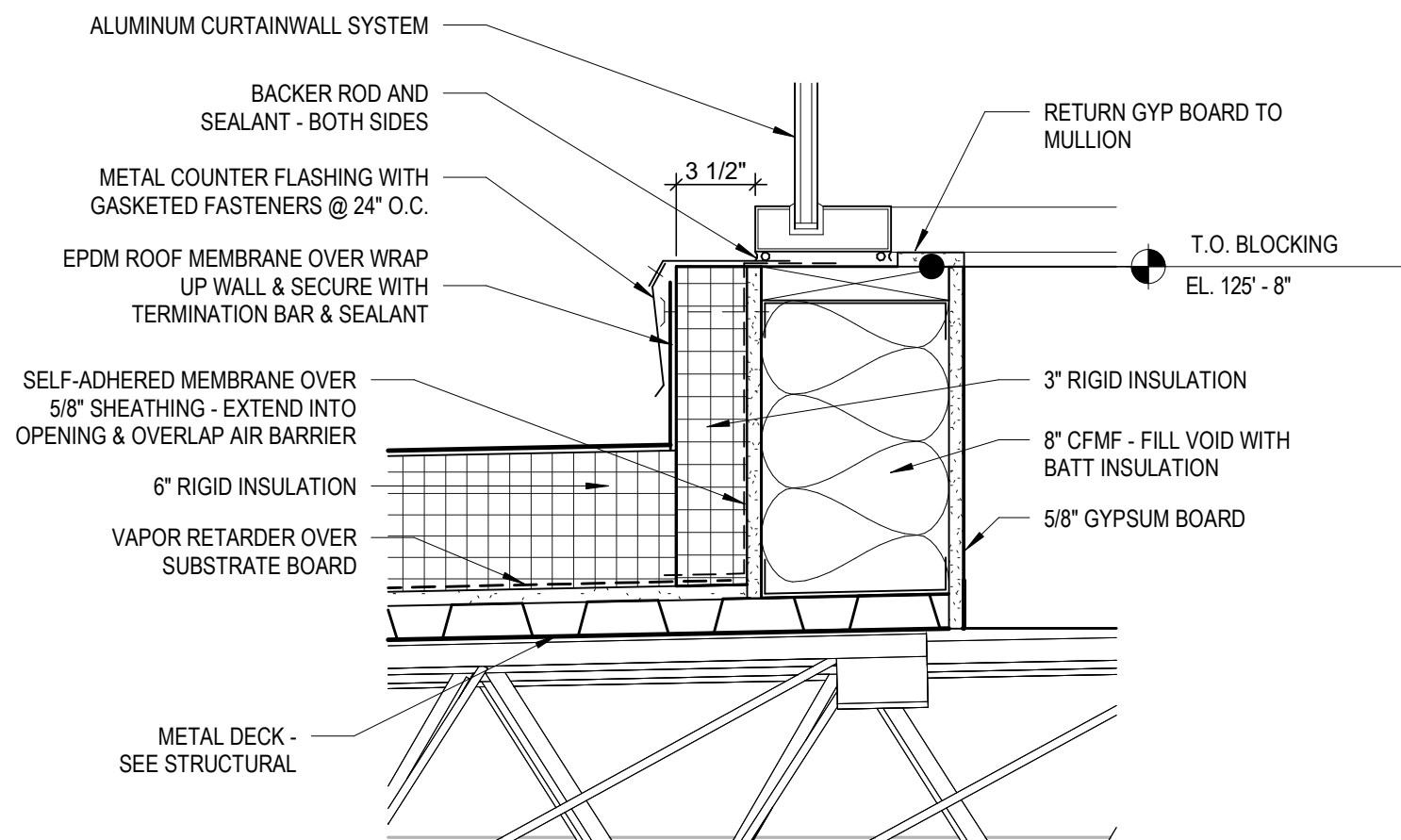
A601



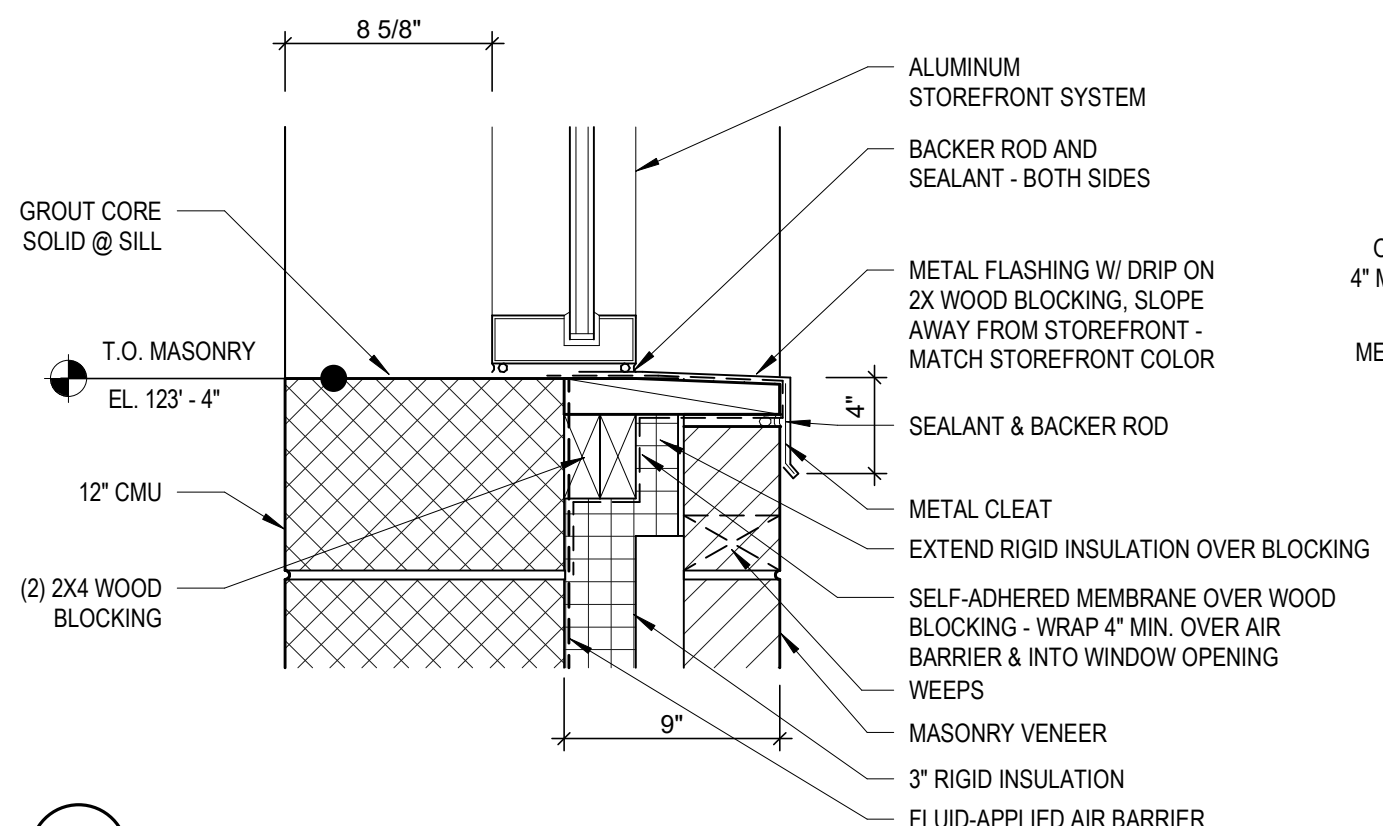
9 METAL PANEL @ GRADE
SCALE: 1 1/2" = 1'-0"



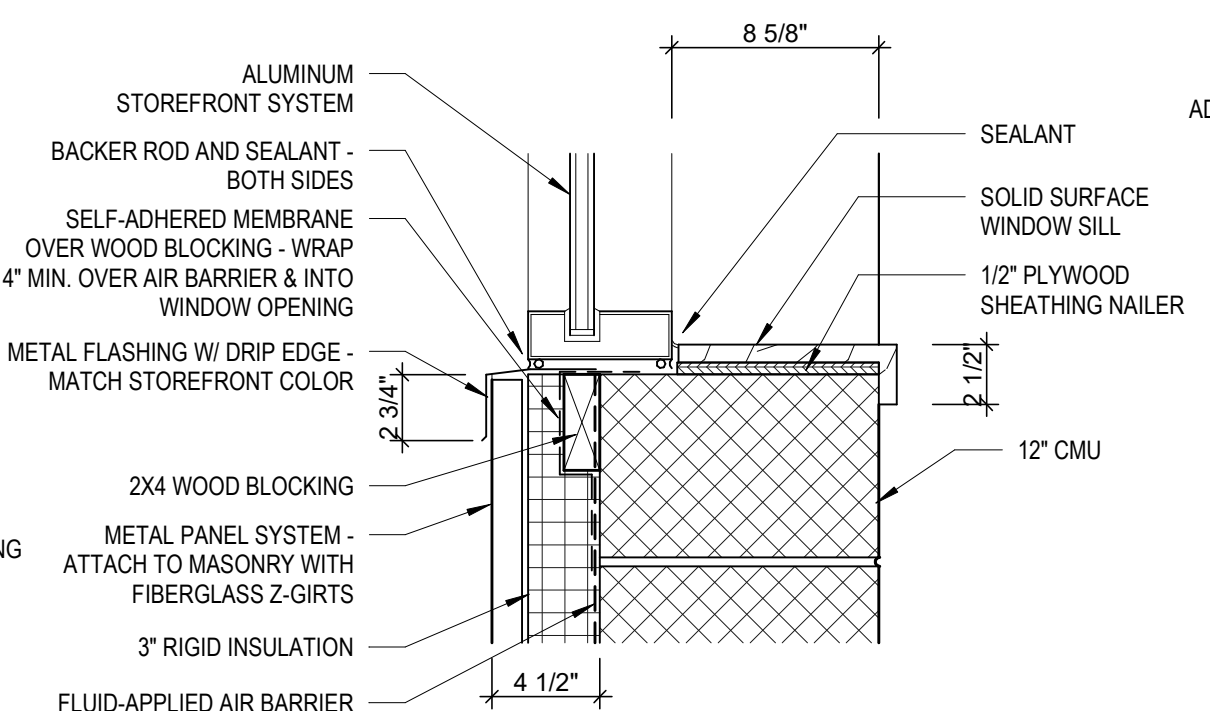
10 MASONRY @ GRADE
SCALE: 1 1/2" = 1'-0"



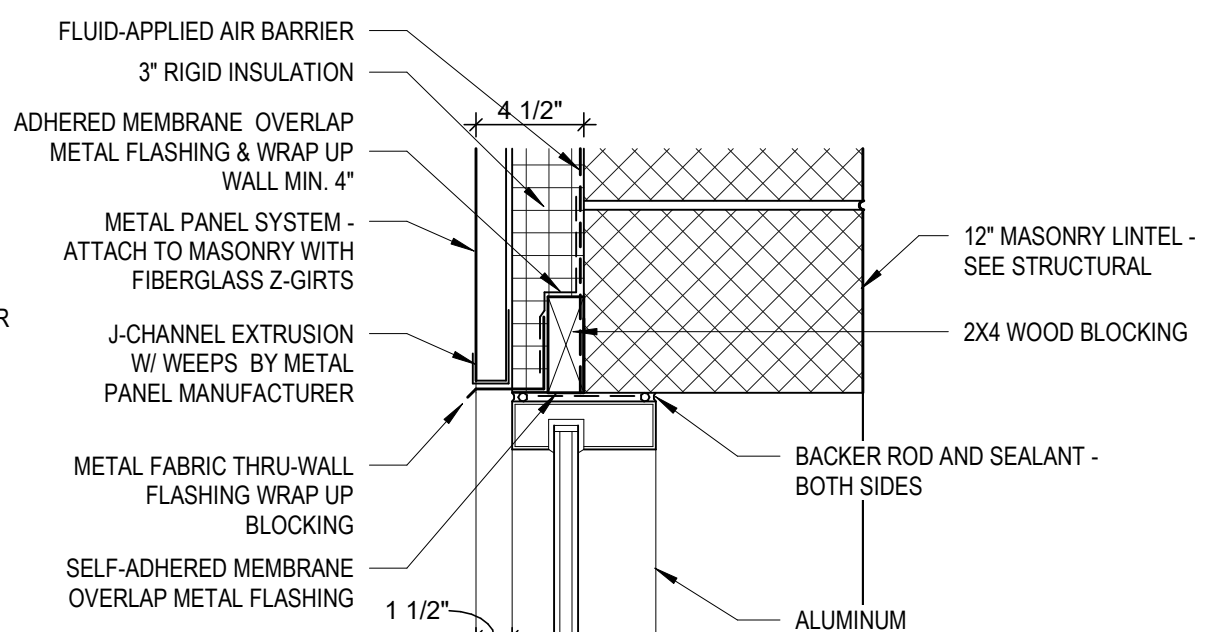
11 CURTAINWALL SILL @ GYM ROOF
SCALE: 1 1/2" = 1'-0"



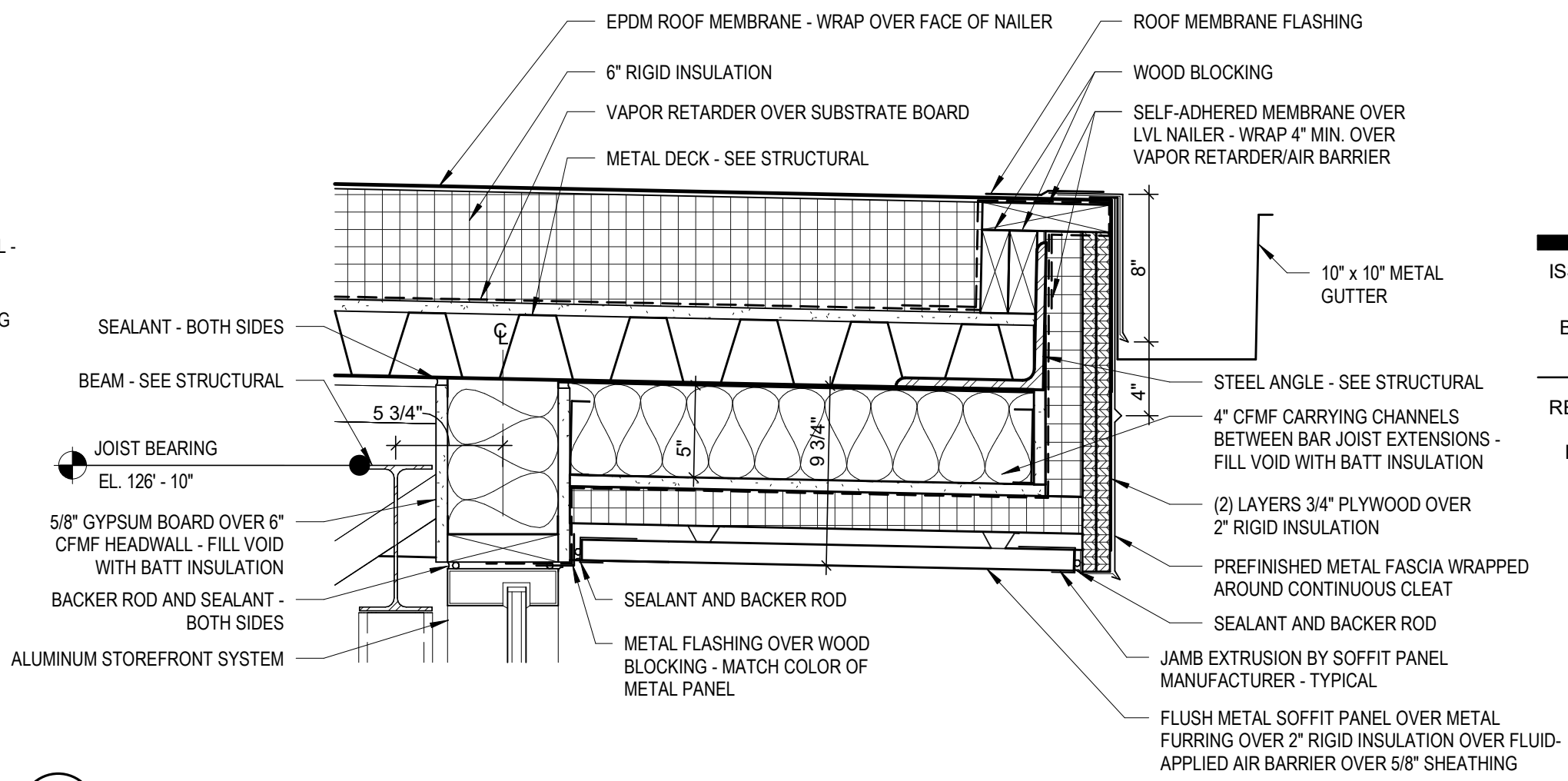
5 STOREFRONT SILL @ MASONRY
SCALE: 1 1/2" = 1'-0"



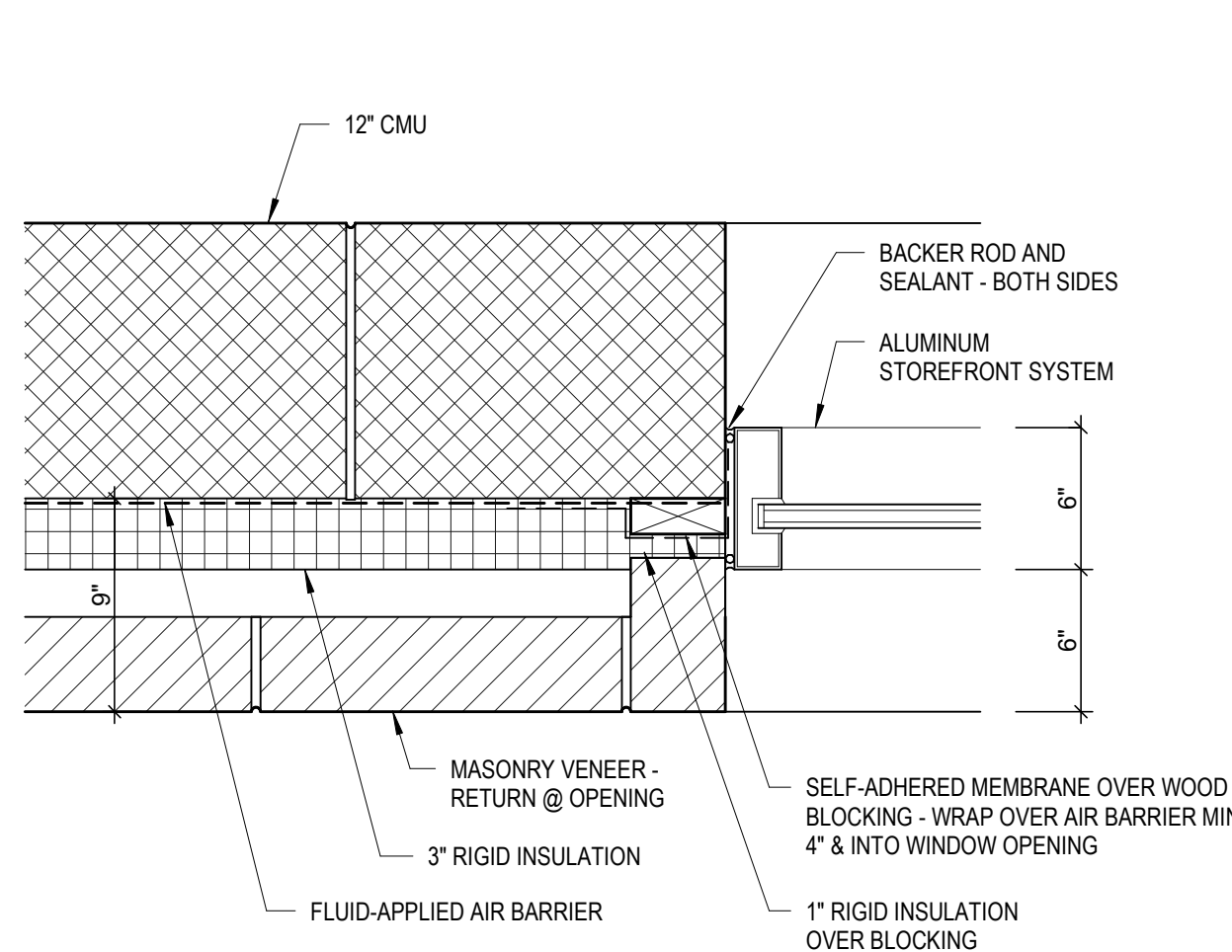
6 STOREFRONT SILL @ METAL PANEL
SCALE: 1 1/2" = 1'-0"



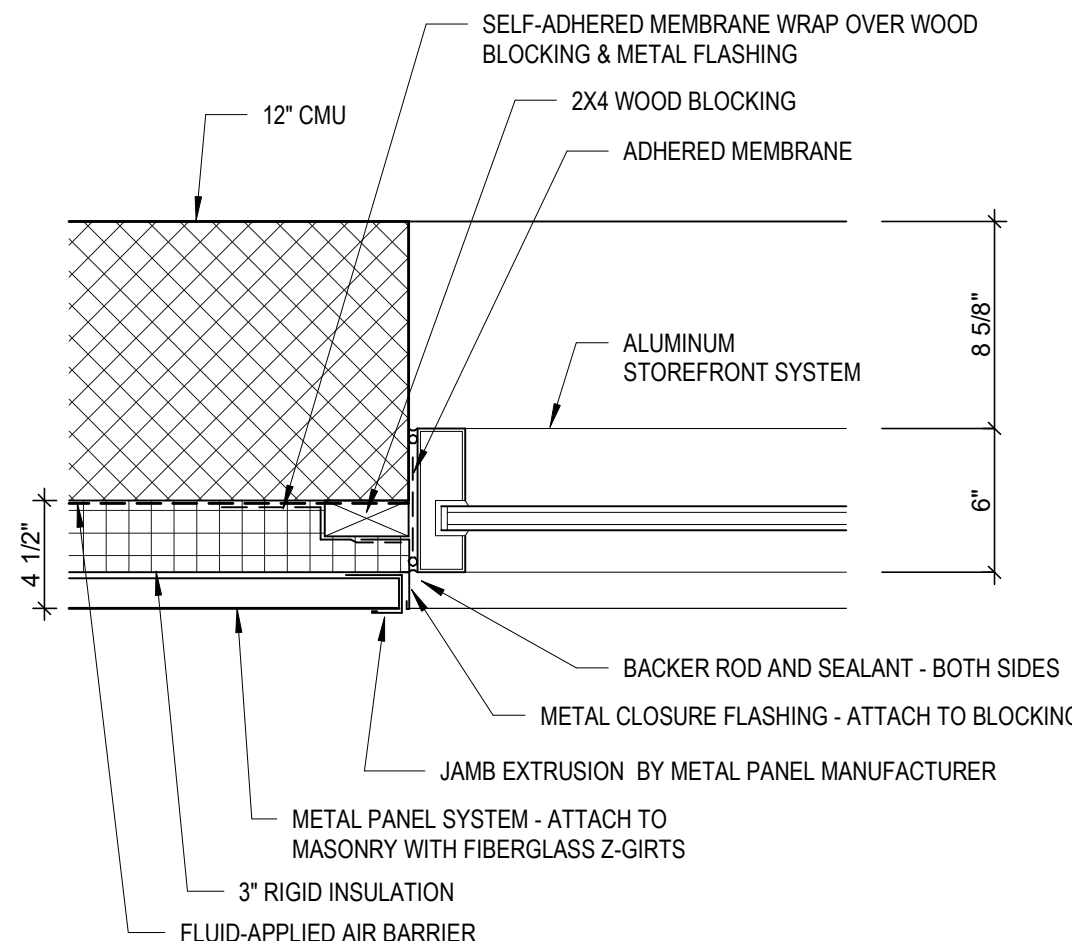
7 STOREFRONT HEAD @ METAL PANEL
SCALE: 1 1/2" = 1'-0"



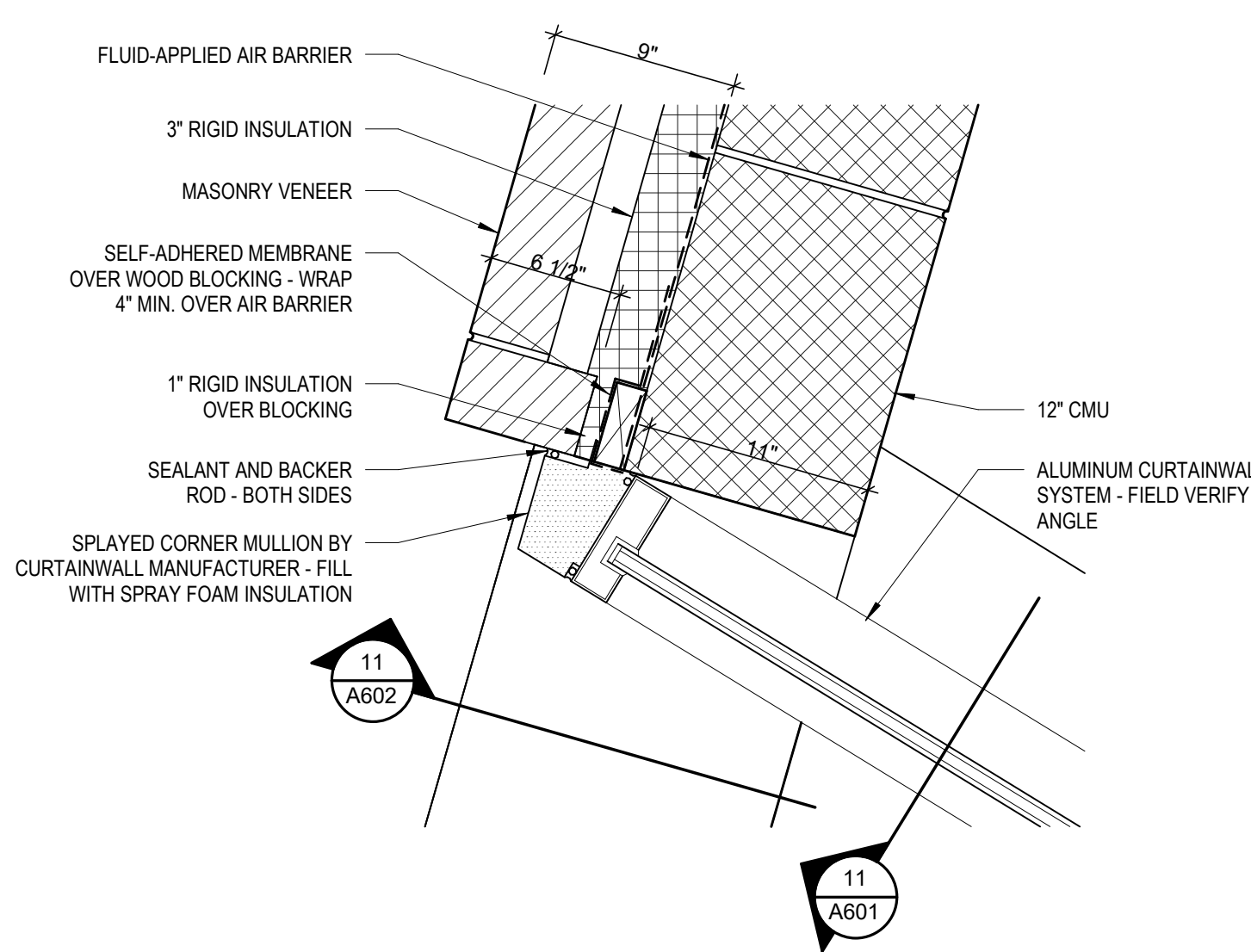
8 STOREFRONT HEAD @ GYM ROOF
SCALE: 1 1/2" = 1'-0"



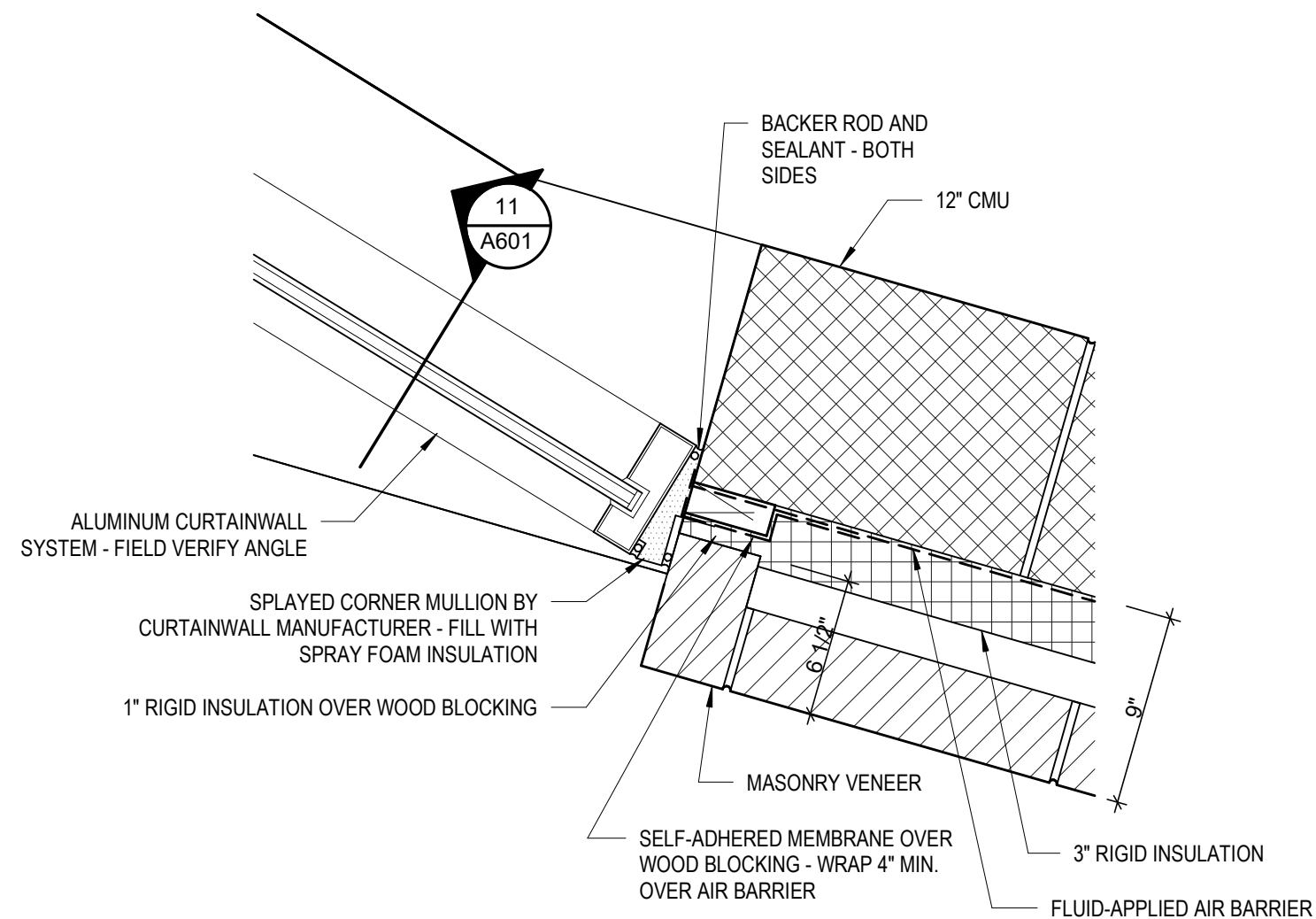
1 STOREFRONT JAMB @ MASONRY
SCALE: 1 1/2" = 1'-0"



2 STOREFRONT JAMB @ METAL PANEL
SCALE: 1 1/2" = 1'-0"



3 CURTAINWALL JAMB @ GYM WEST
SCALE: 1 1/2" = 1'-0"



4 CURTAINWALL JAMB @ GYM SOUTH
SCALE: 1 1/2" = 1'-0"

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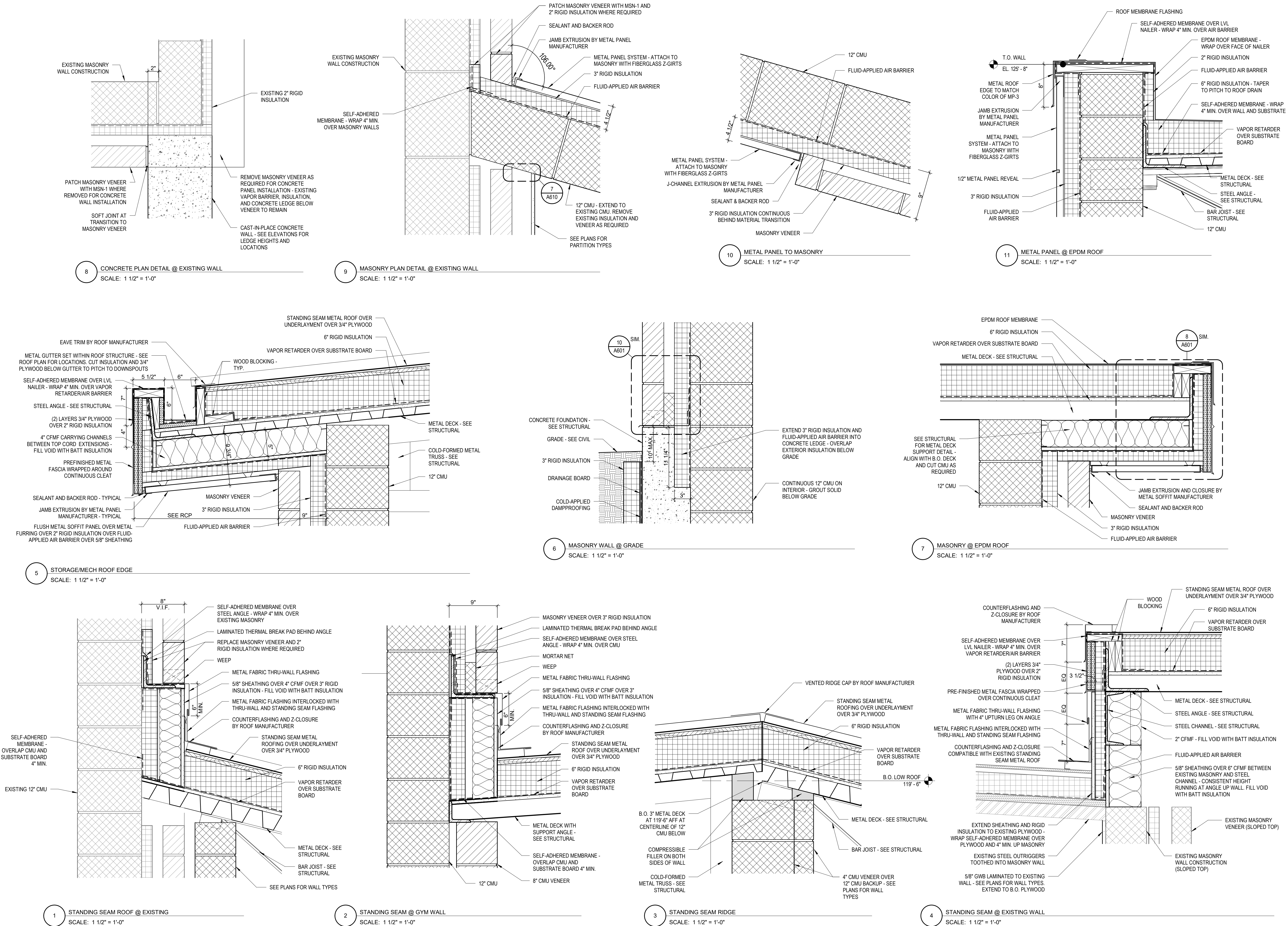
NO. DESCRIPTION DATE

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EXTERIOR DETAILS

A602



WARNER PARK
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330 EAST LAKESIDE STREET
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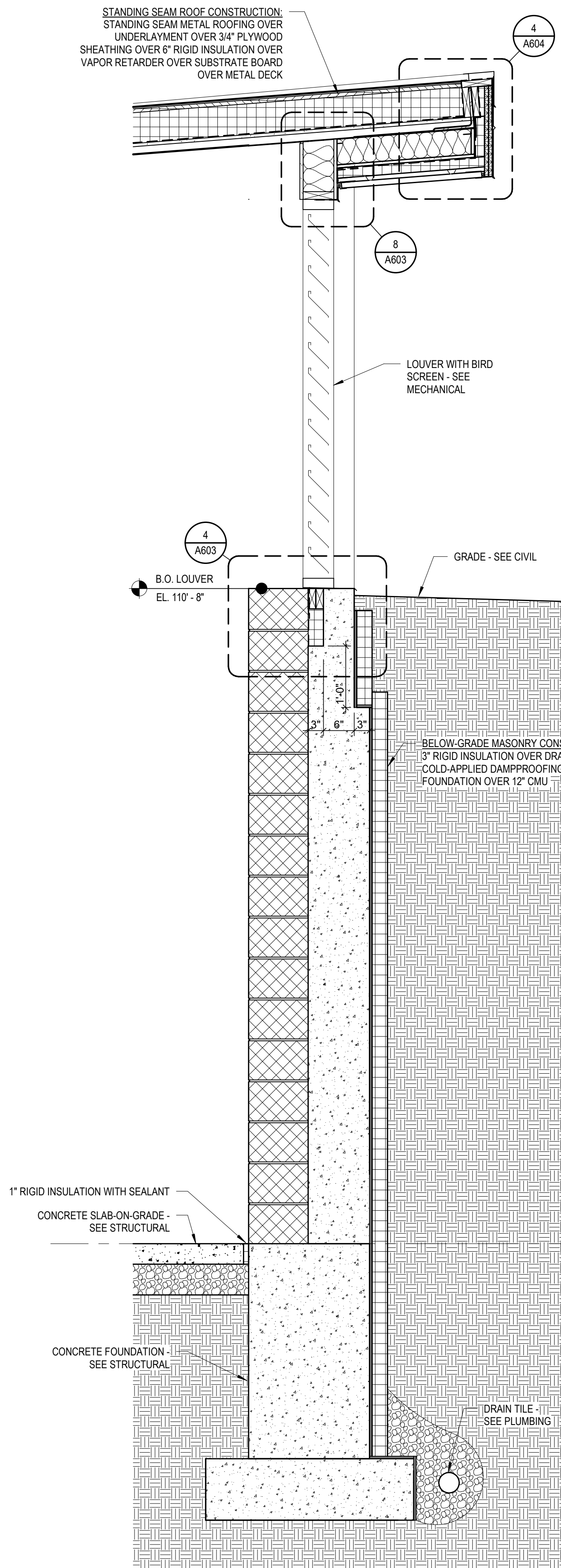
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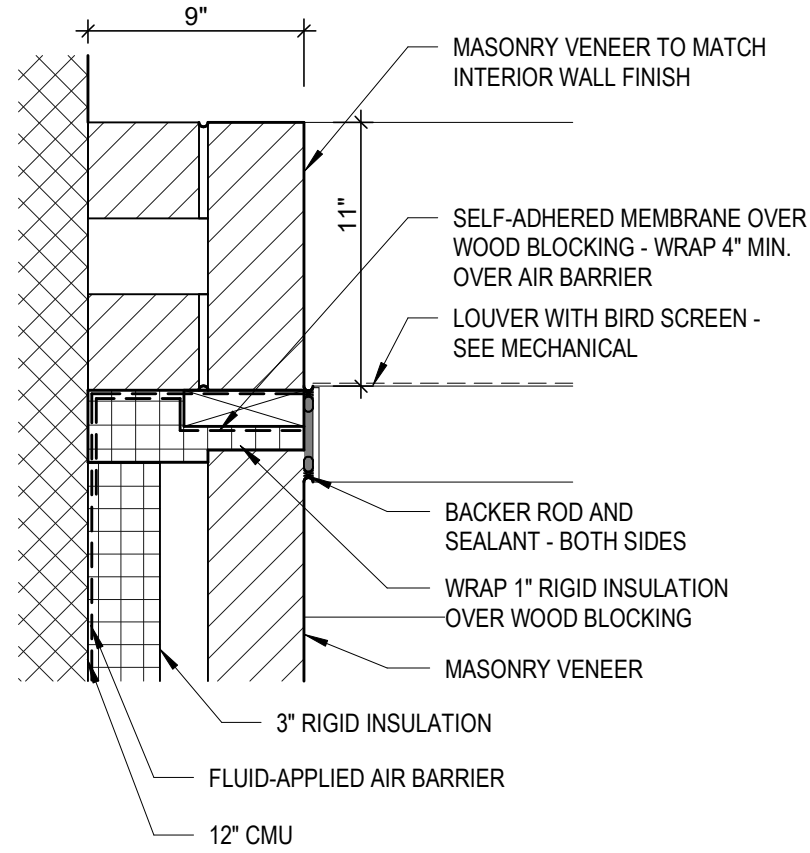
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EXTERIOR DETAILS

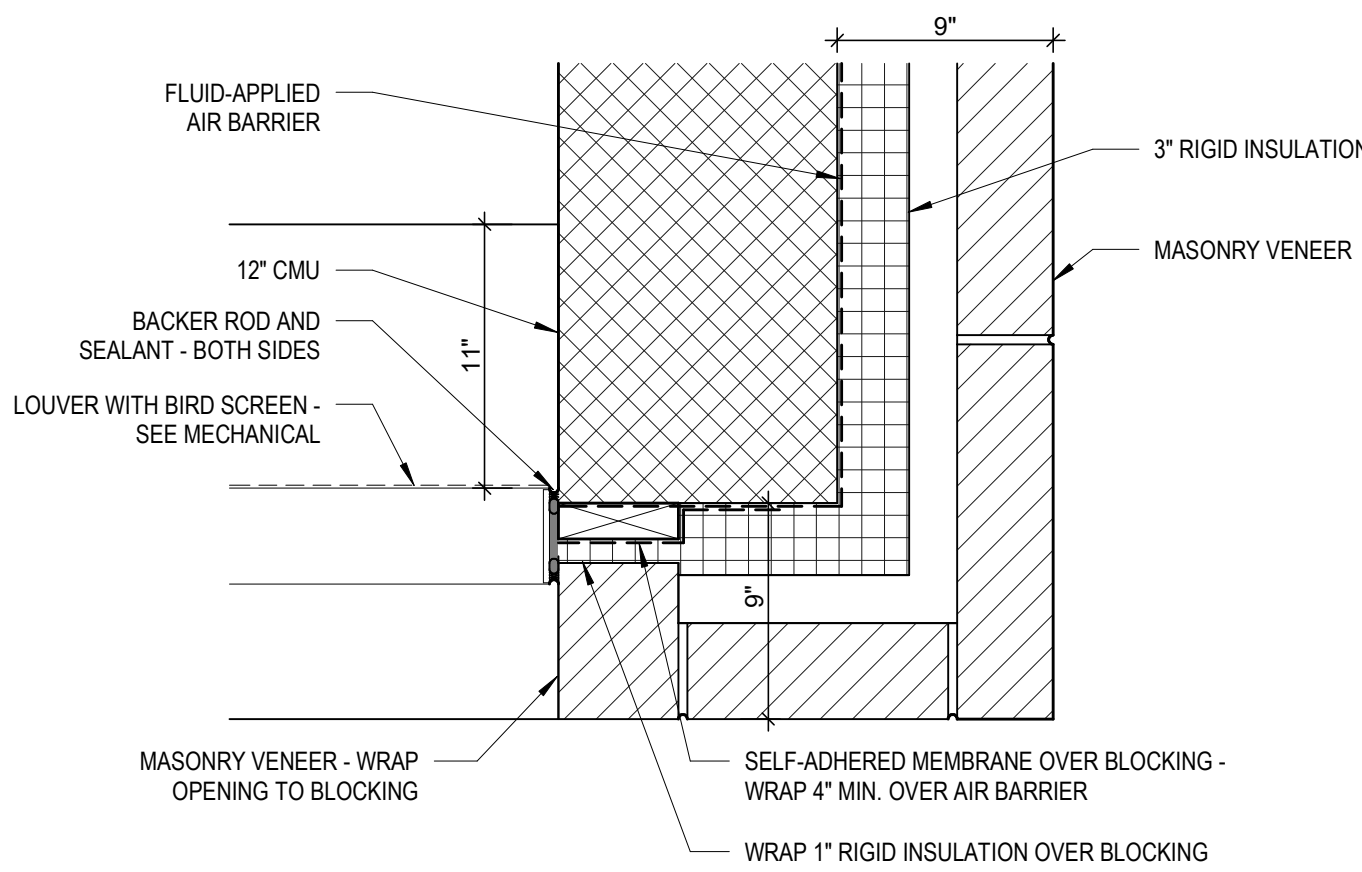
A603



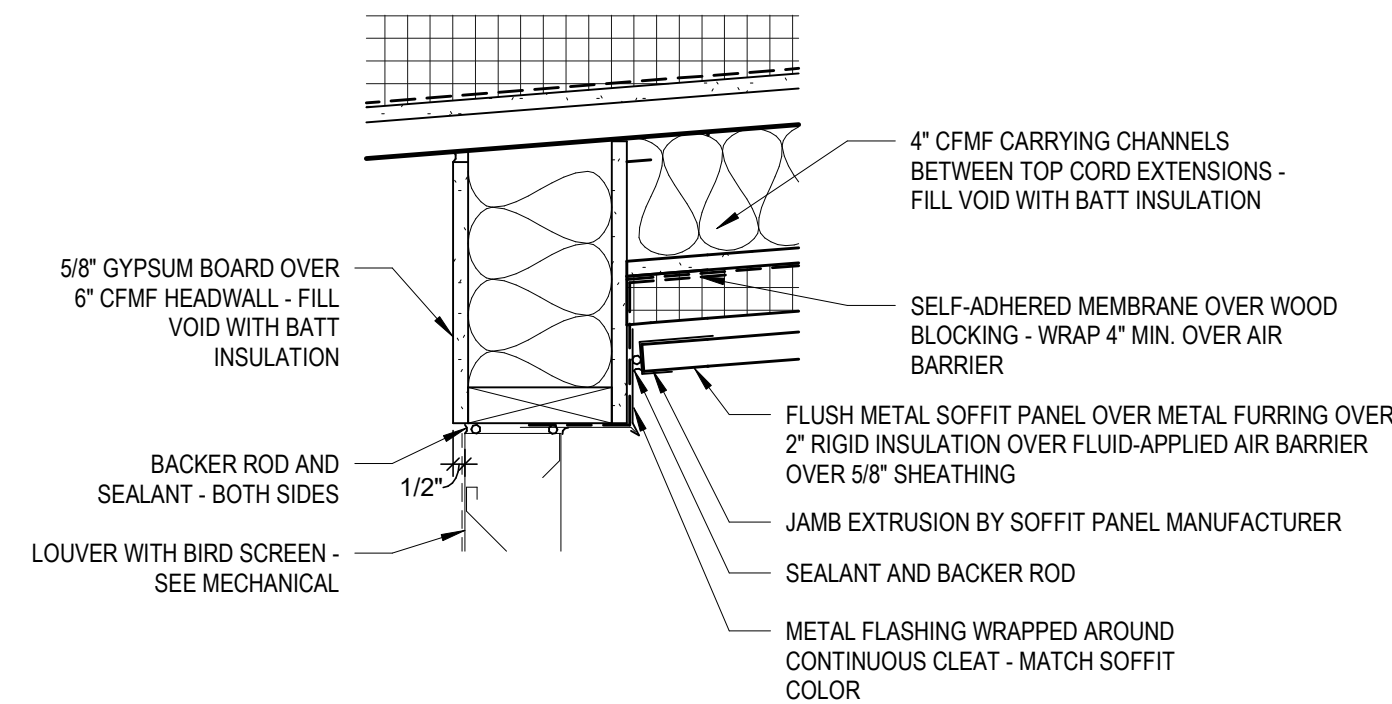
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SCALE: 3/4" = 1'-0"



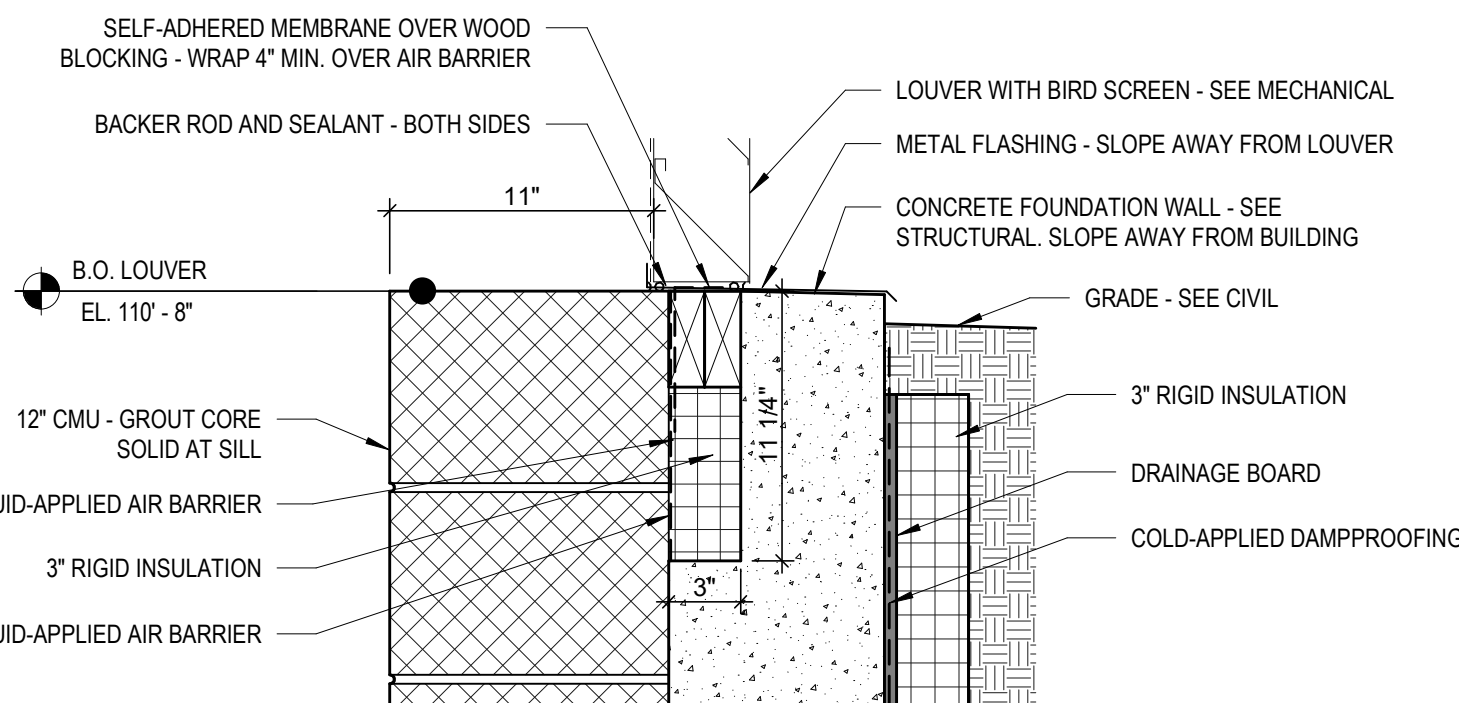
6 LOUVER JAMB @ GYM
SCALE: 1 1/2" = 1'-0"



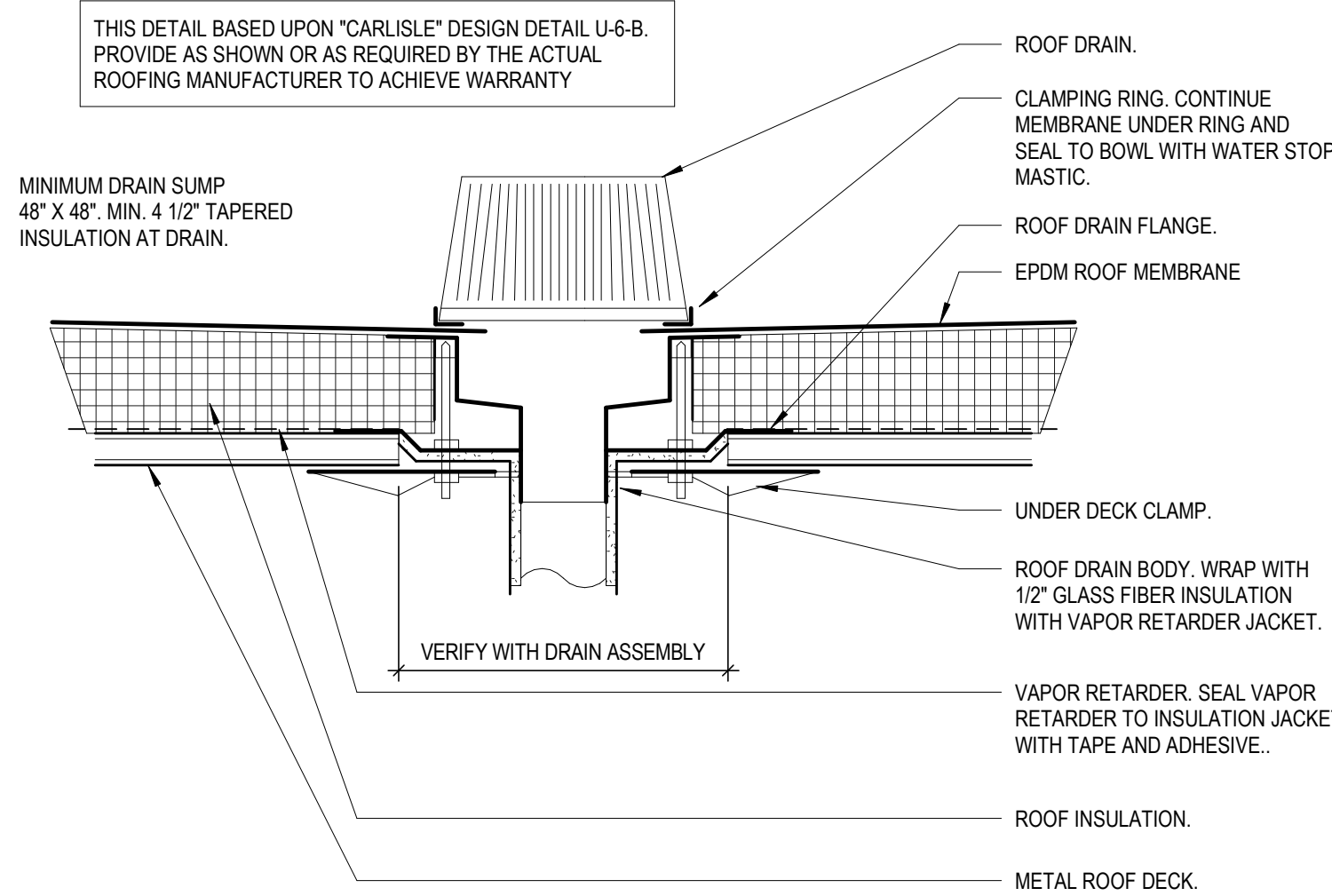
7 LOUVER JAMB @ EXT.
SCALE: 1 1/2" = 1'-0"



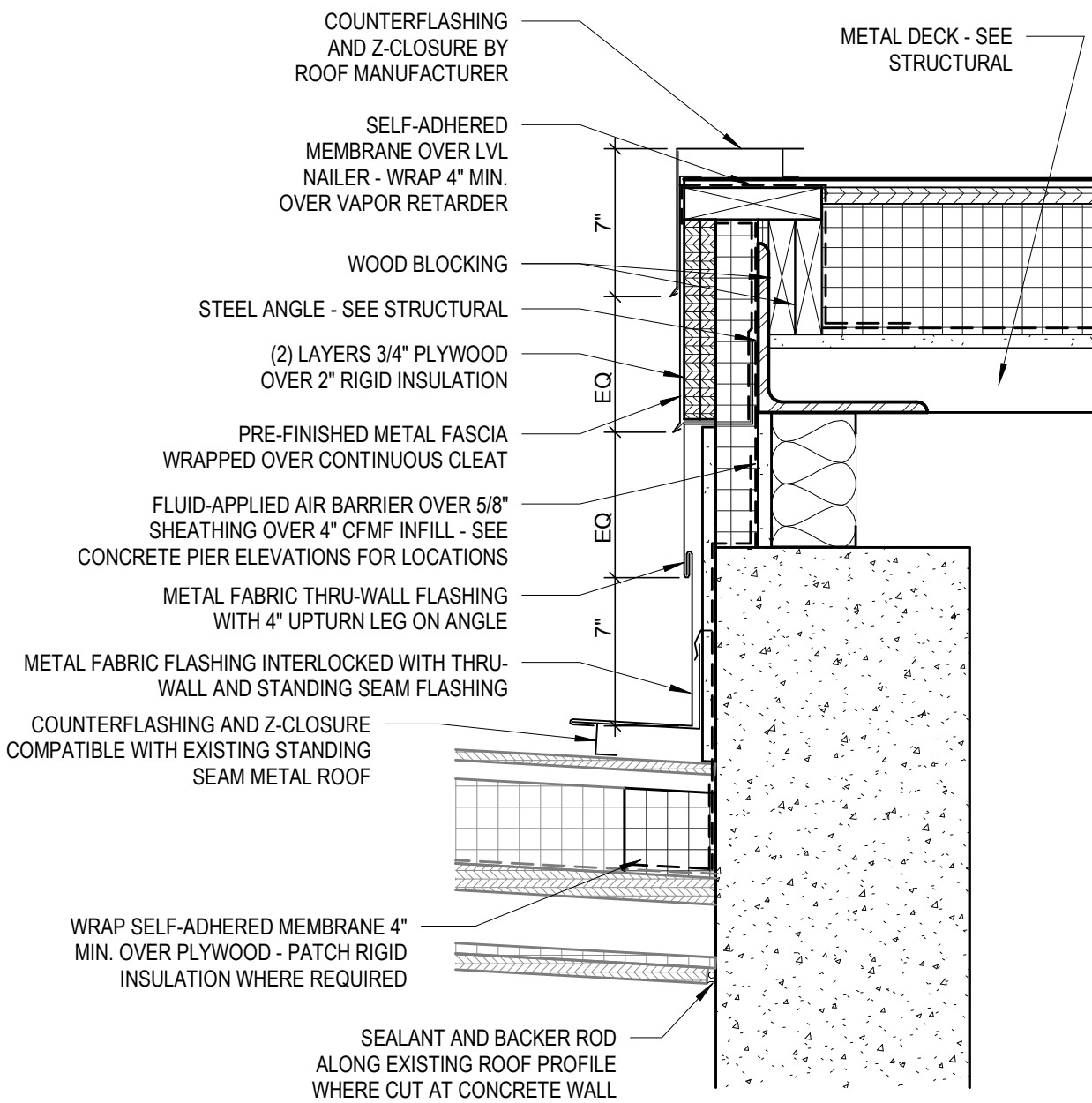
8 LOUVER HEAD
SCALE: 1 1/2" = 1'-0"



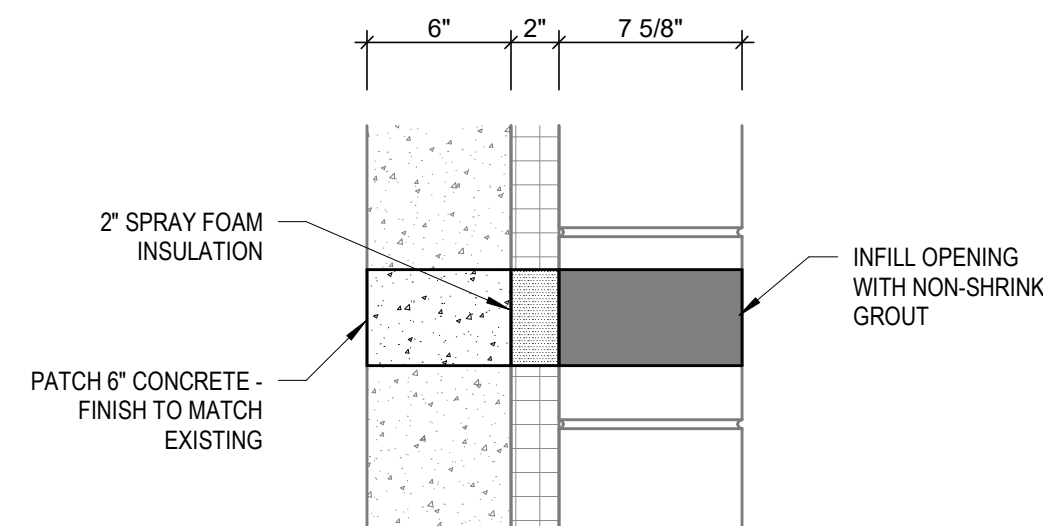
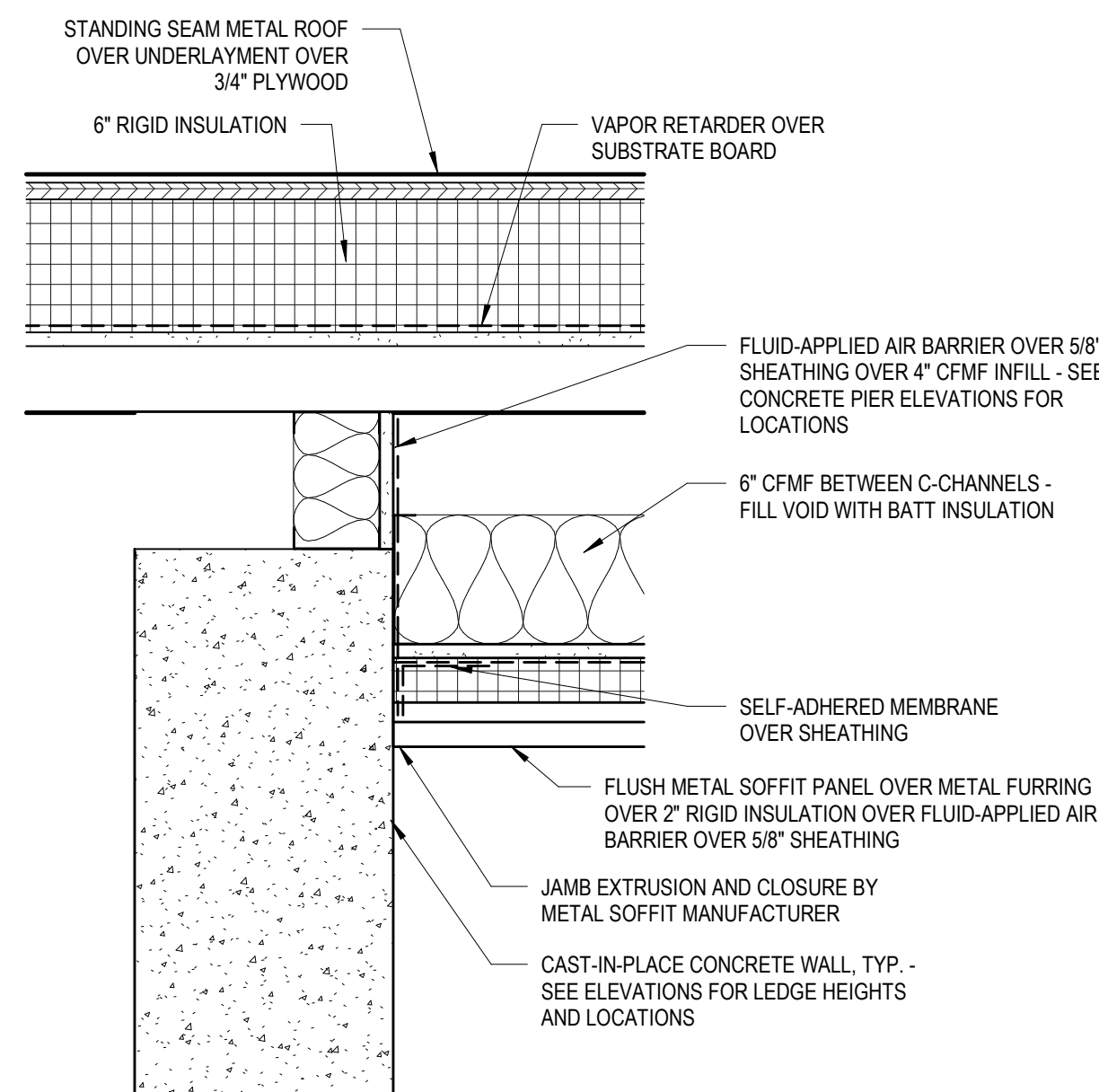
4 LOUVER SILL @ MASONRY
SCALE: 1 1/2" = 1'-0"



5 ROOF DRAIN
SCALE: 1 1/2" = 1'-0"



2 STANDING SEAM @ CONCRETE
SCALE: 1 1/2" = 1'-0"



3 INFILL WHERE FDC REMOVED
SCALE: 1 1/2" = 1'-0"

WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704
CITY OF MADISON PARKS DIVISION
330 EAST LAKESIDE STREET
MADISON, WI 53715

PROJECT NUMBER 223471.00

ISSUED FOR:

BID SET 5/16/2024

REVISION FOR:

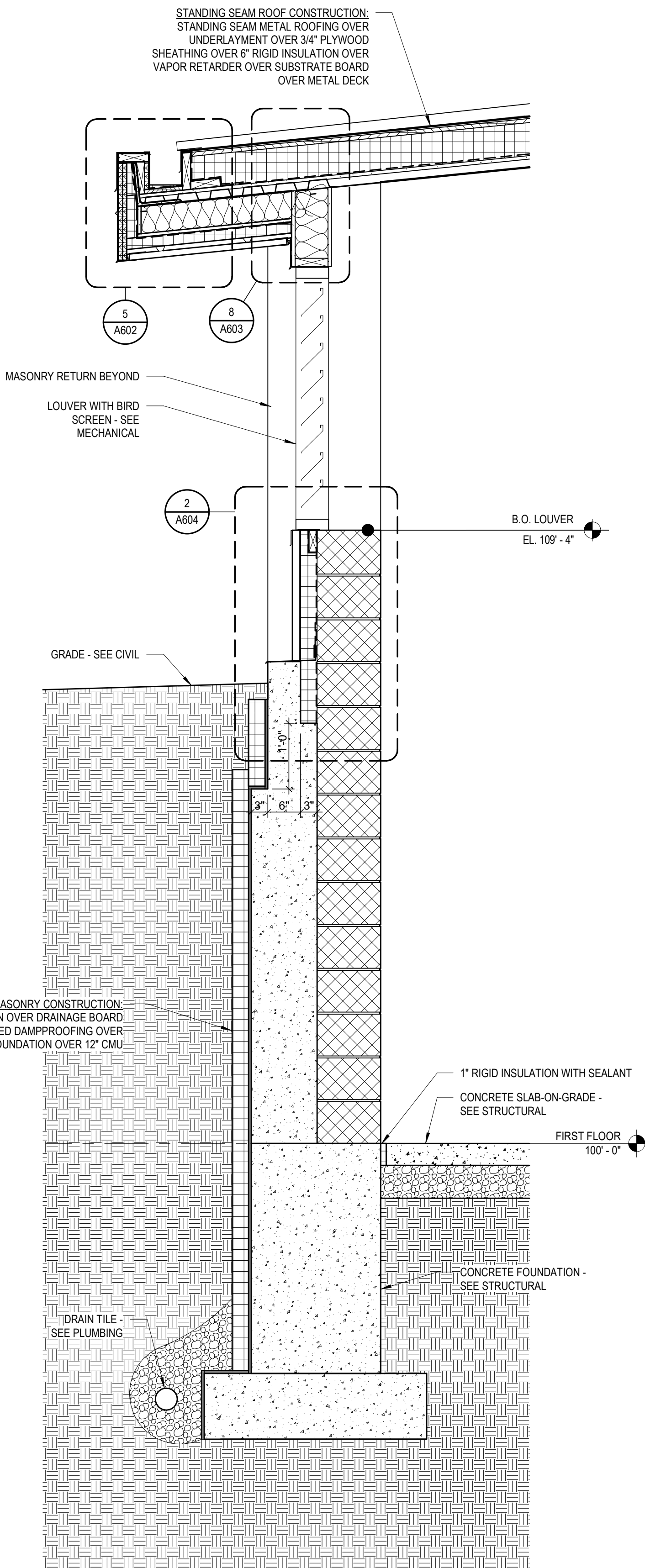
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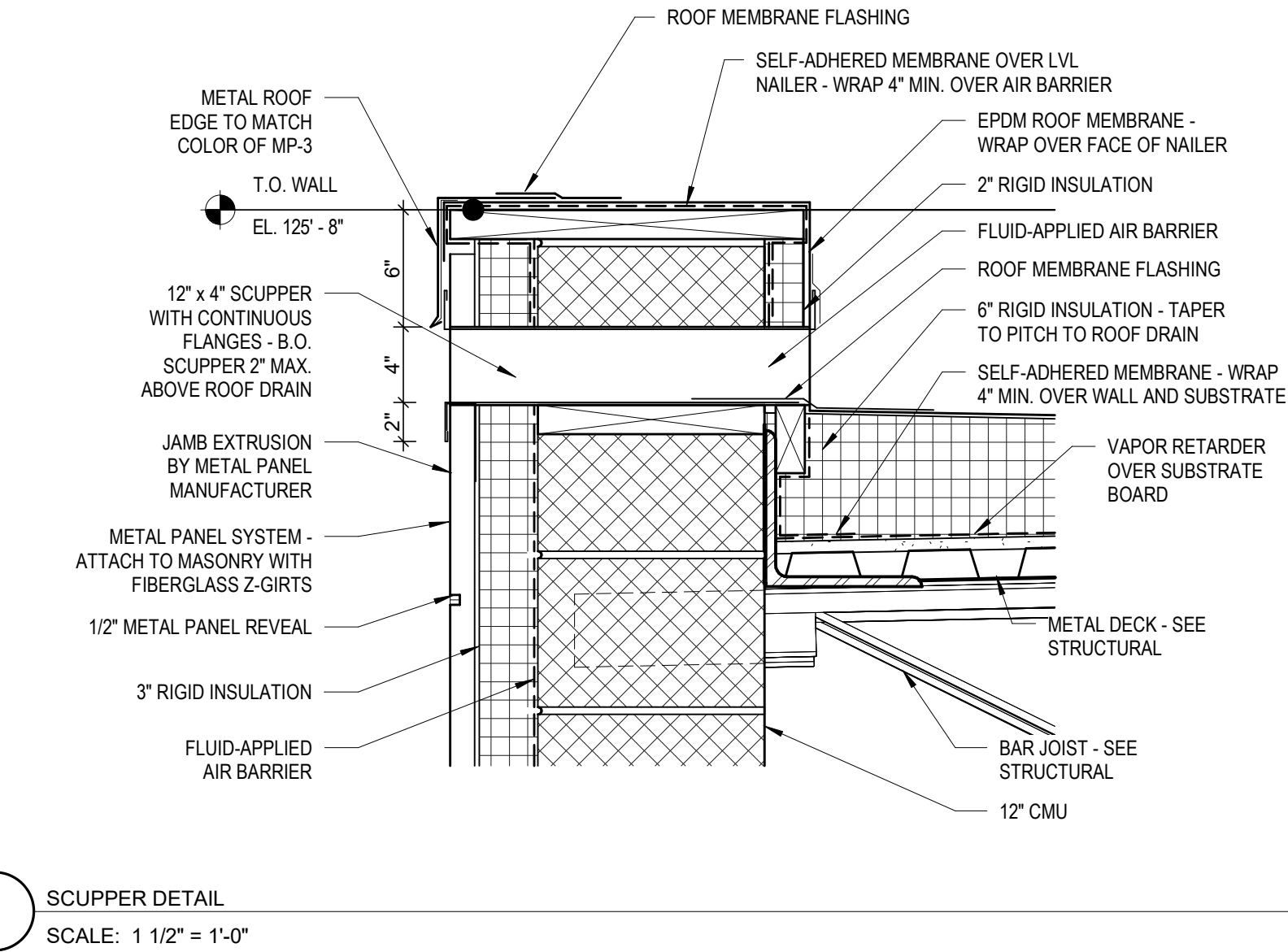
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EXTERIOR DETAILS

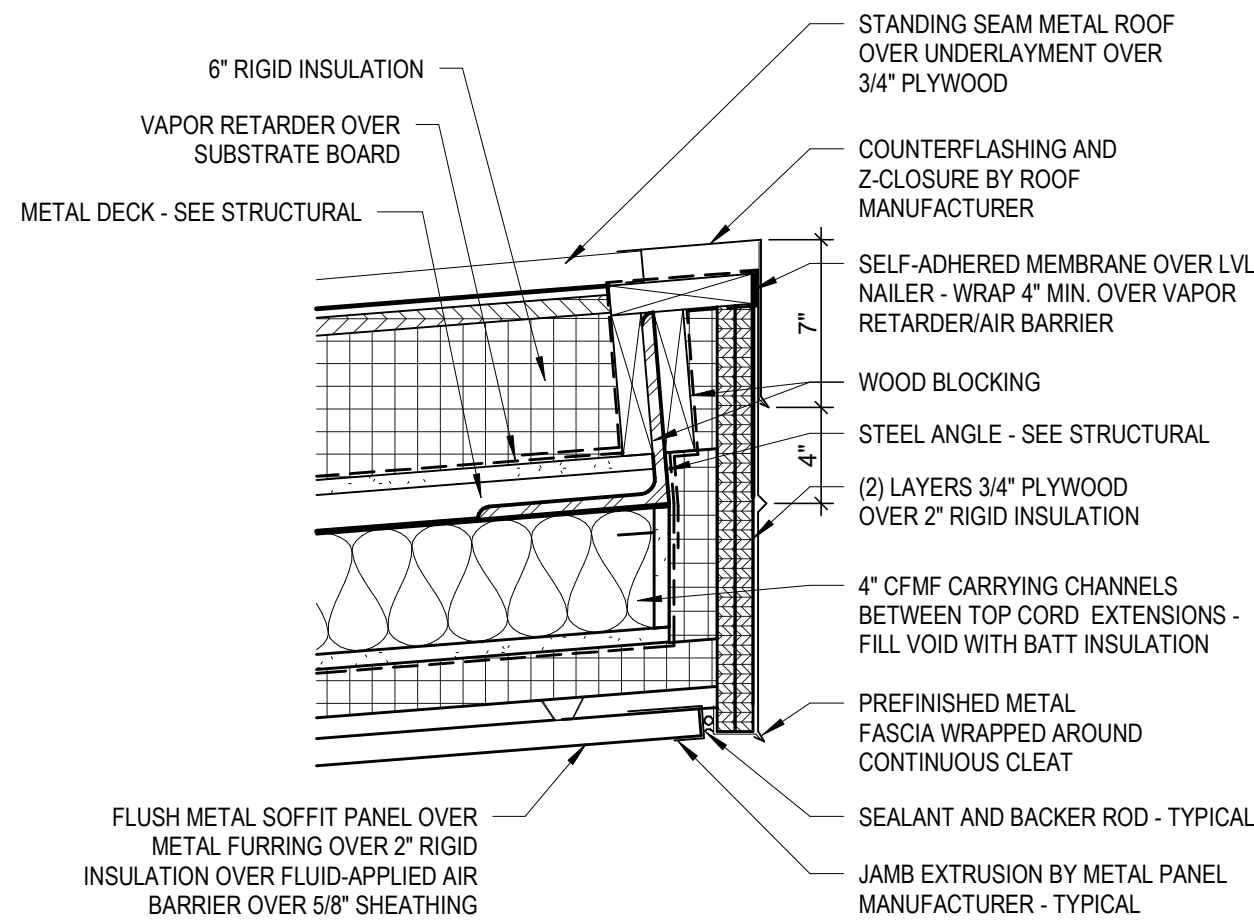
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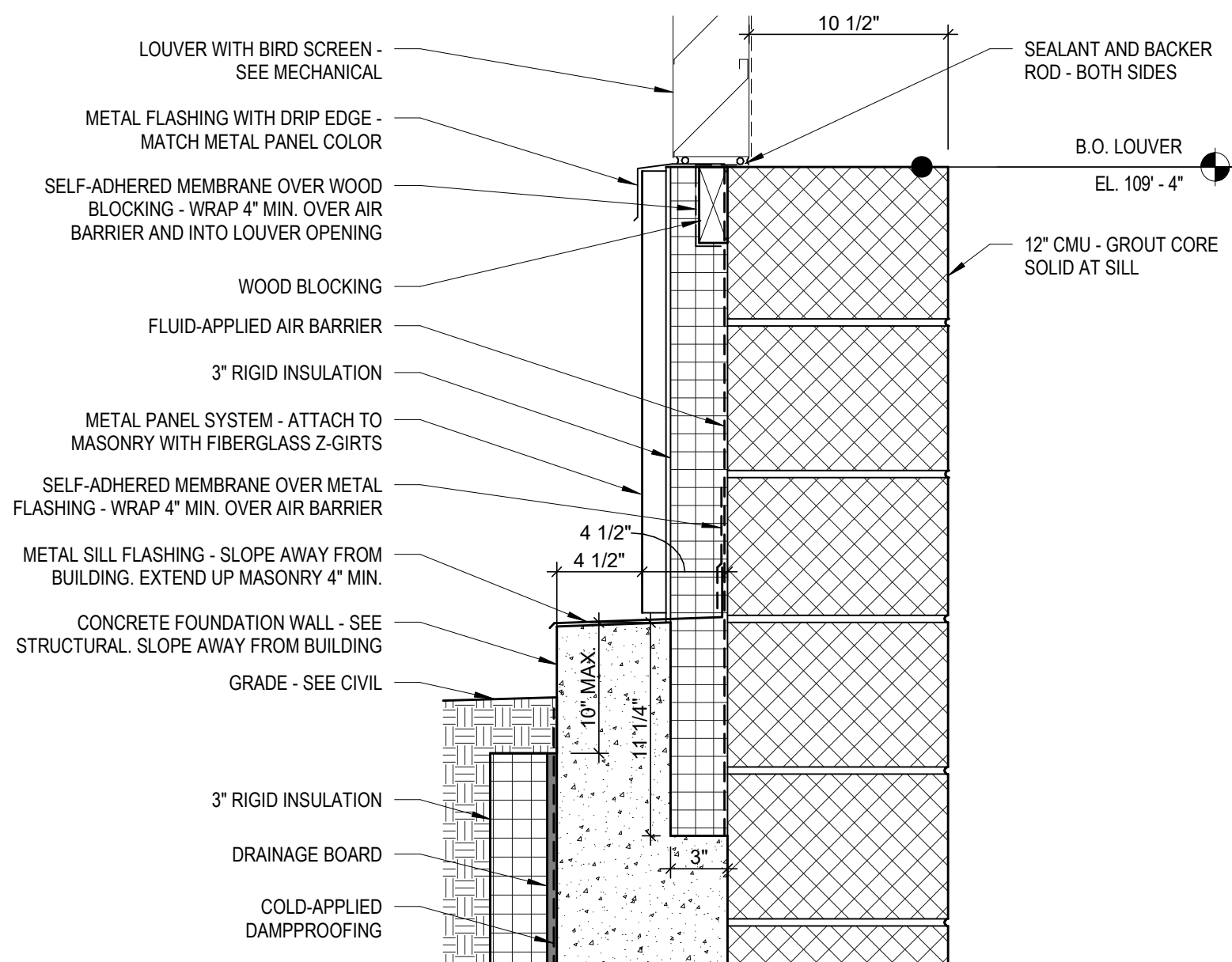
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SCALE: 3/4" = 1'-0"



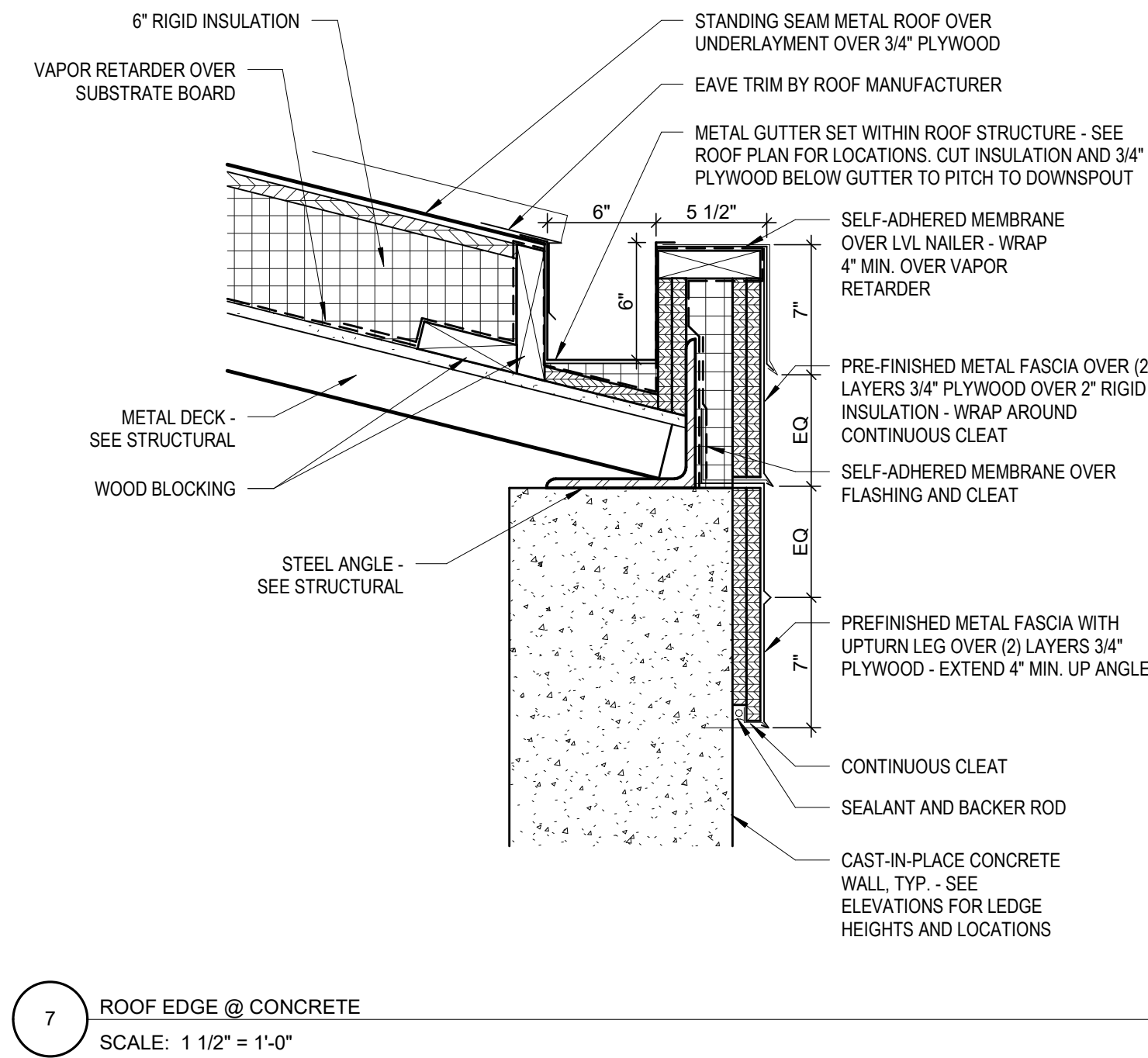
6 SCUPPER DETAIL
SCALE: 1 1/2" = 1'-0"



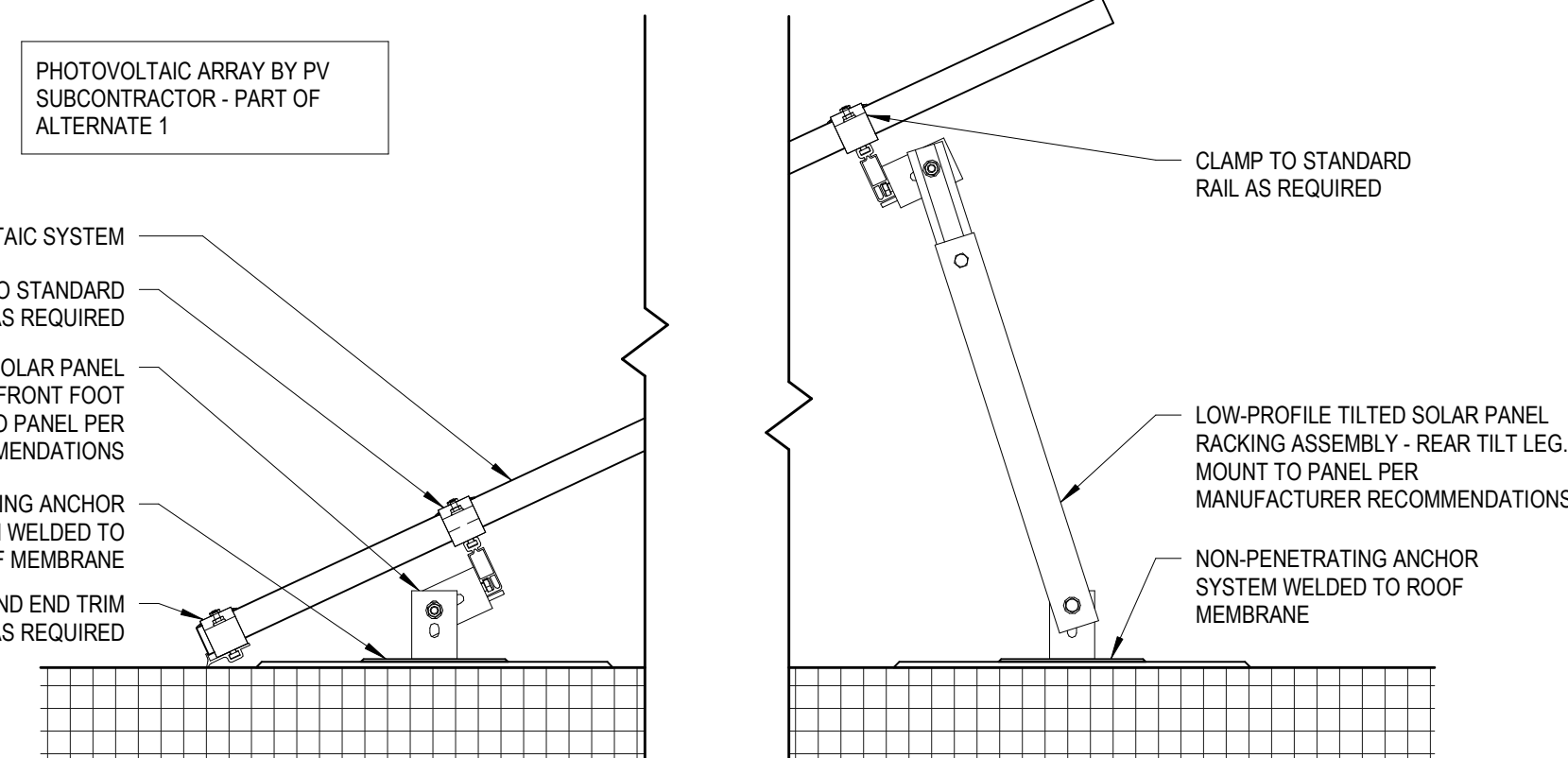
4 ROOF EDGE @ MECHANICAL
SCALE: 1 1/2" = 1'-0"



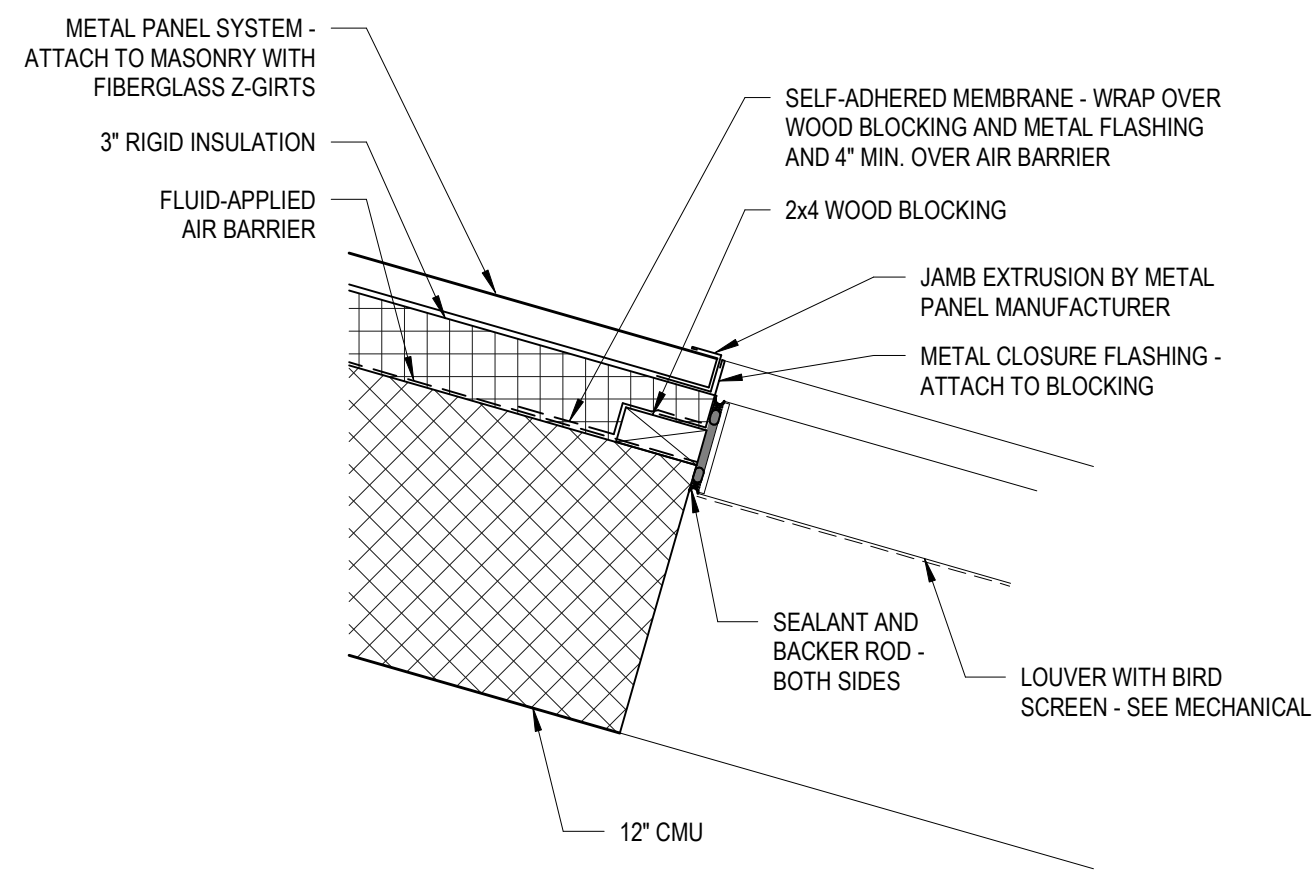
2 METAL PANEL @ GRADE
SCALE: 1 1/2" = 1'-0"



7 ROOF EDGE @ CONCRETE
SCALE: 1 1/2" = 1'-0"



5 SOLAR PANEL MOUNTING DETAIL
SCALE: 1 1/2" = 1'-0"



3 LOUVER JAMB @ METAL PANEL
SCALE: 1 1/2" = 1'-0"

WARNER PARK
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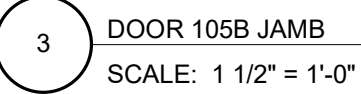
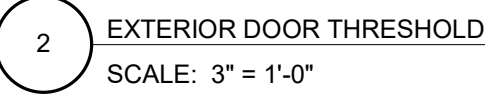
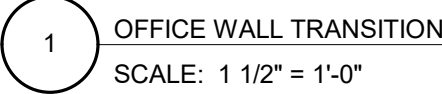
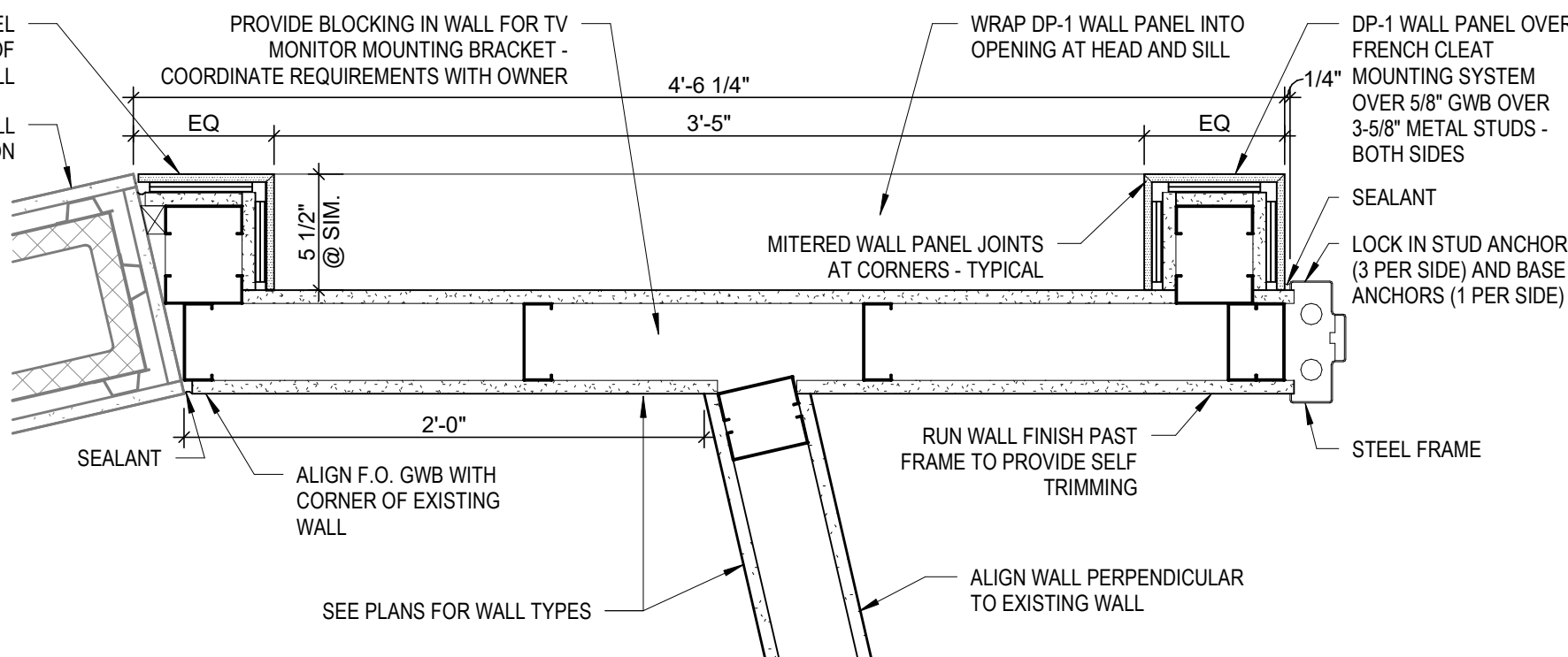
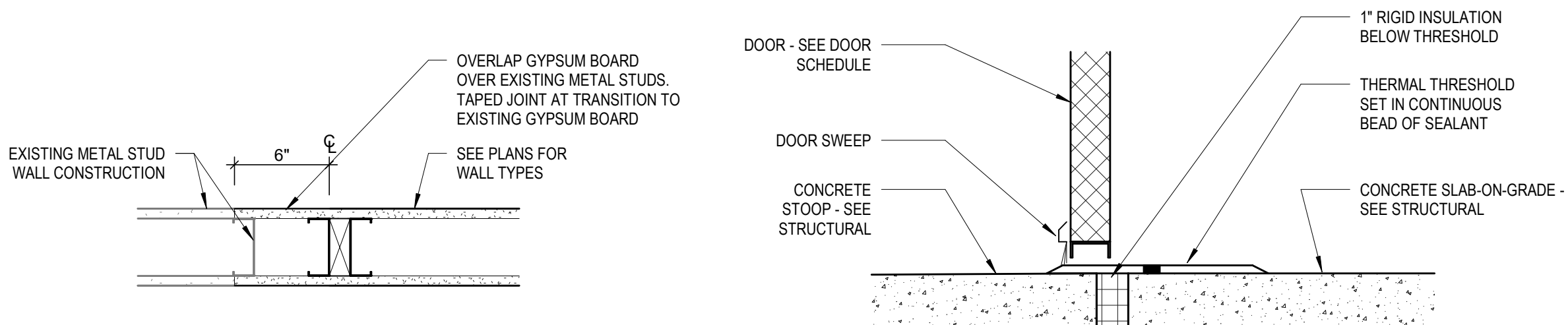
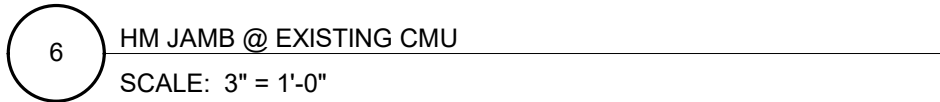
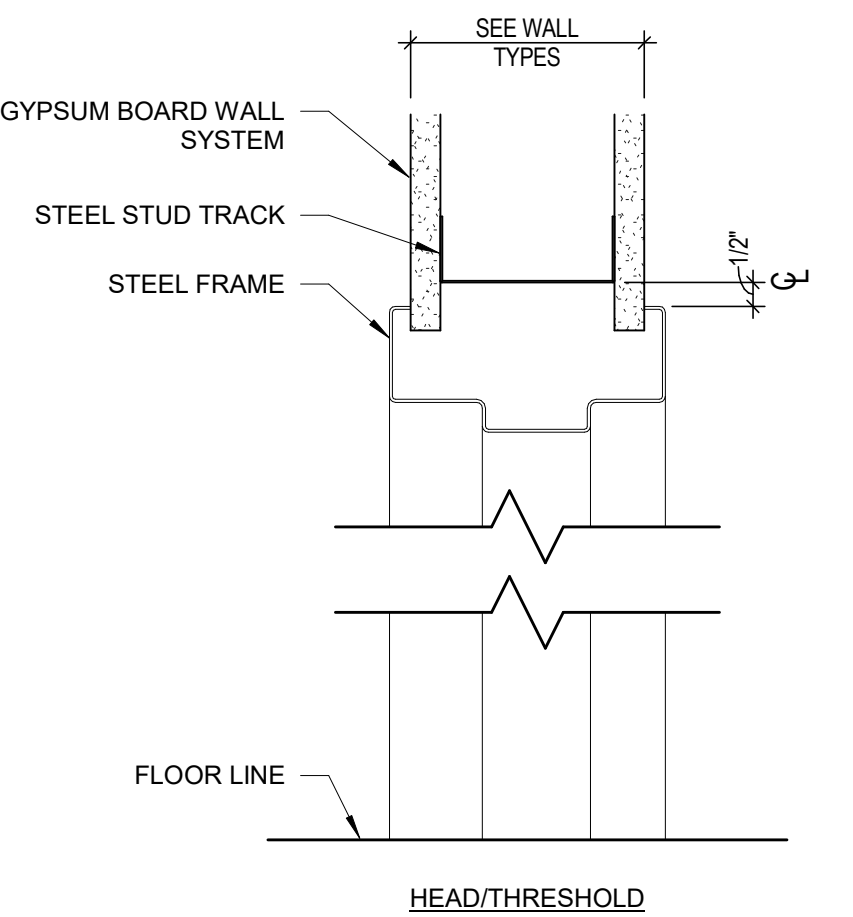
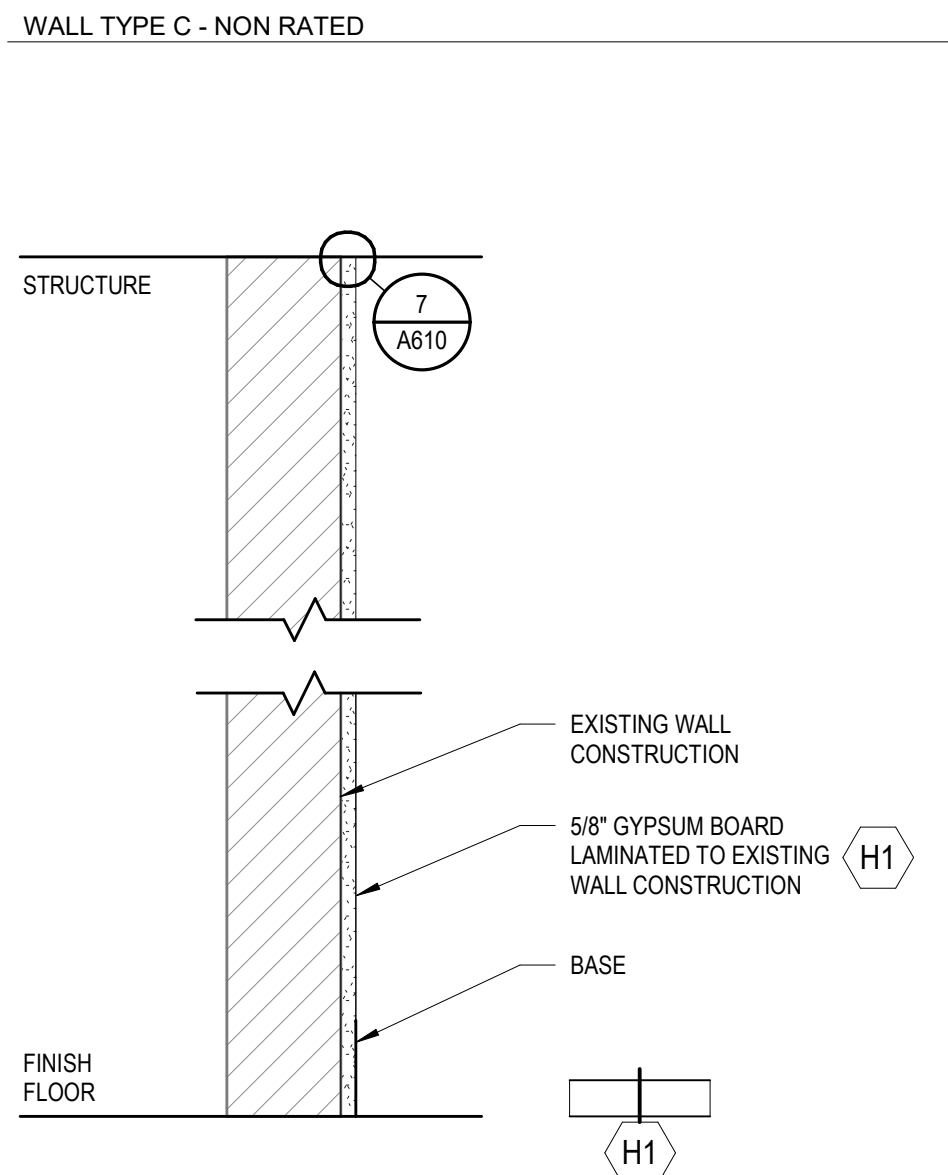
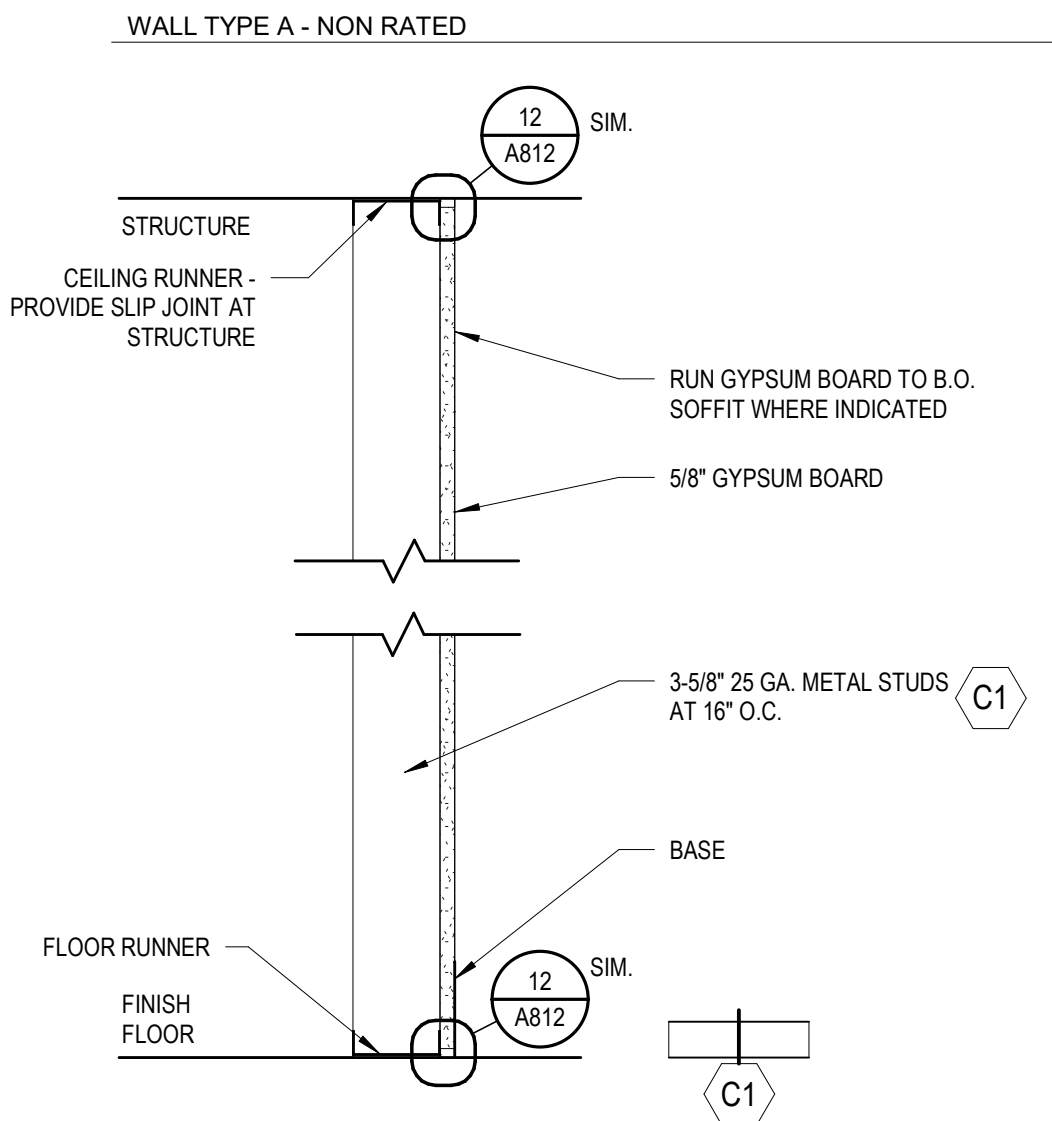
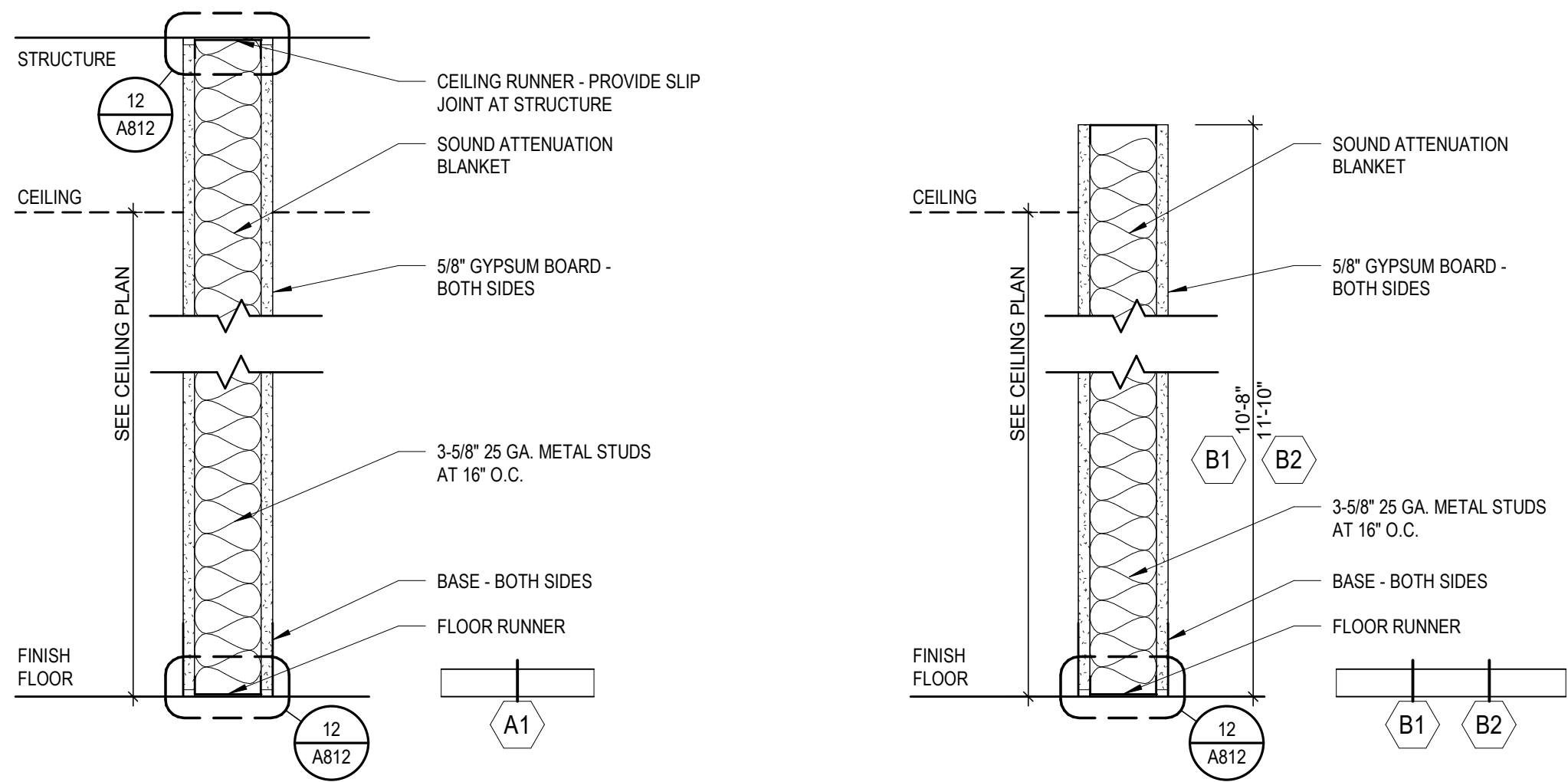
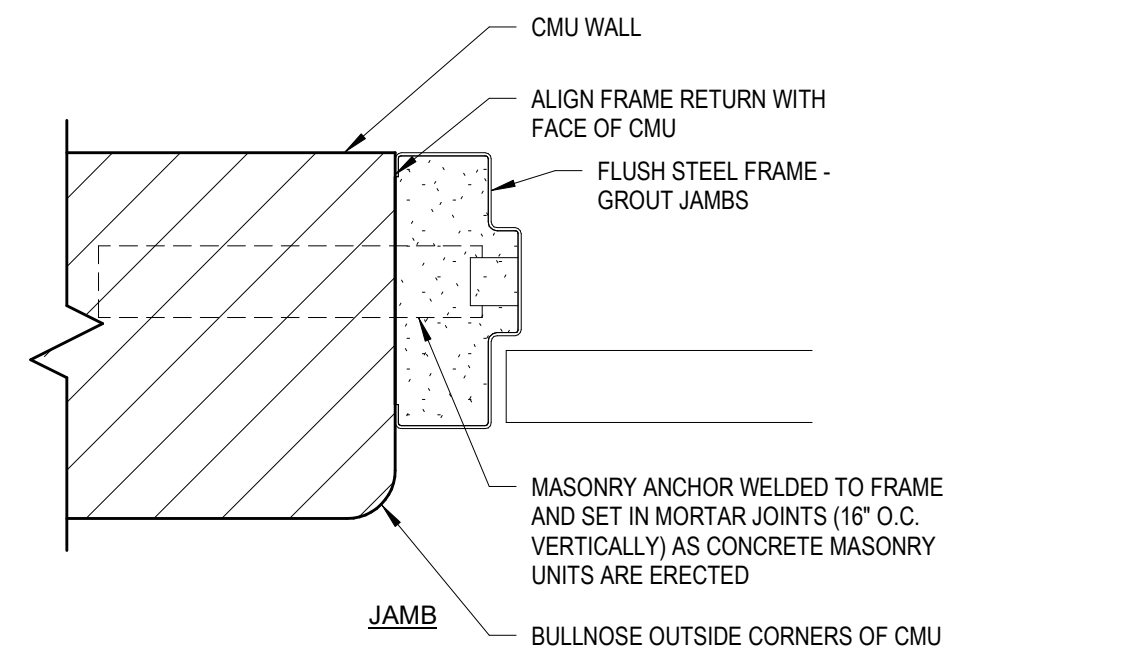
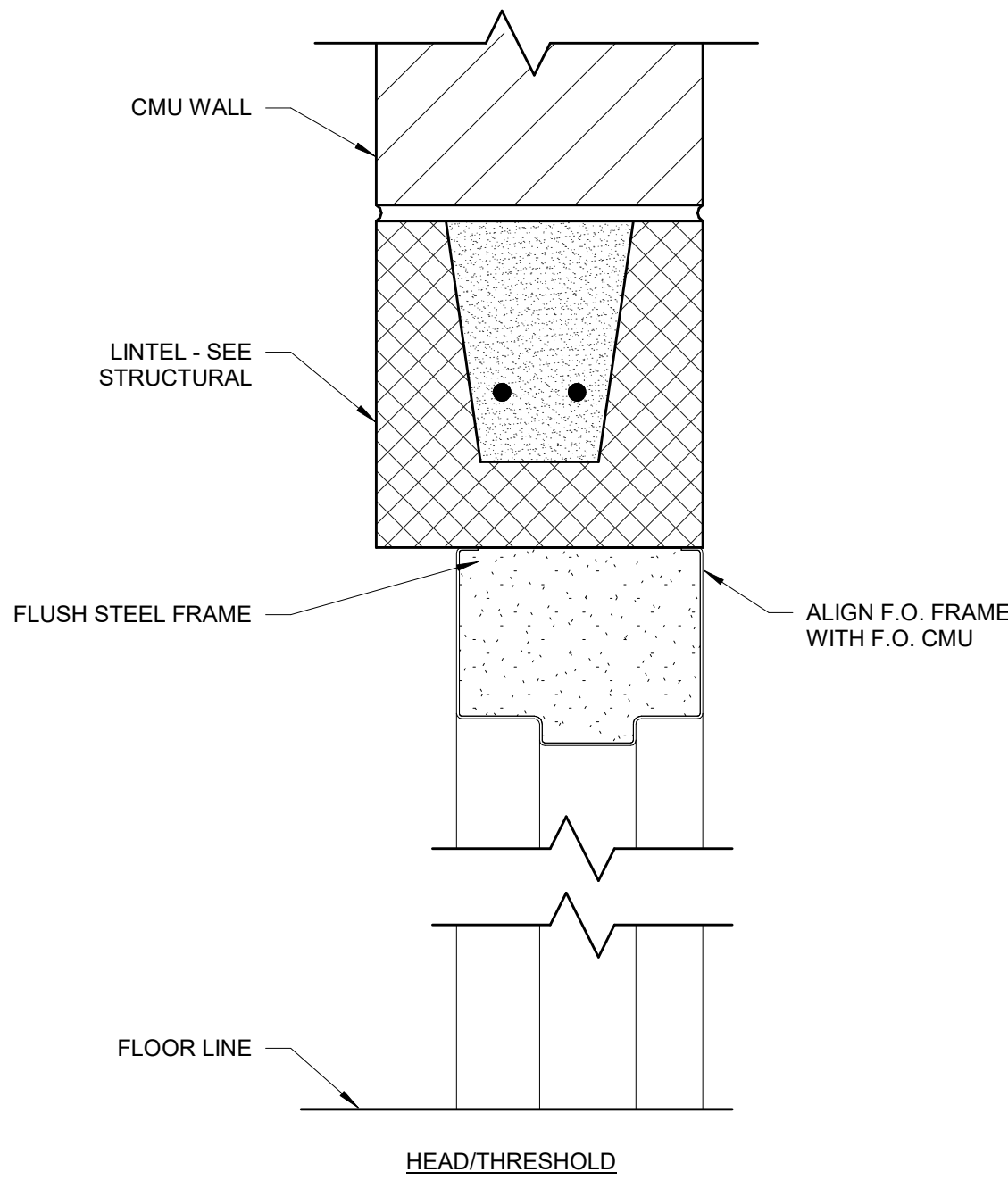
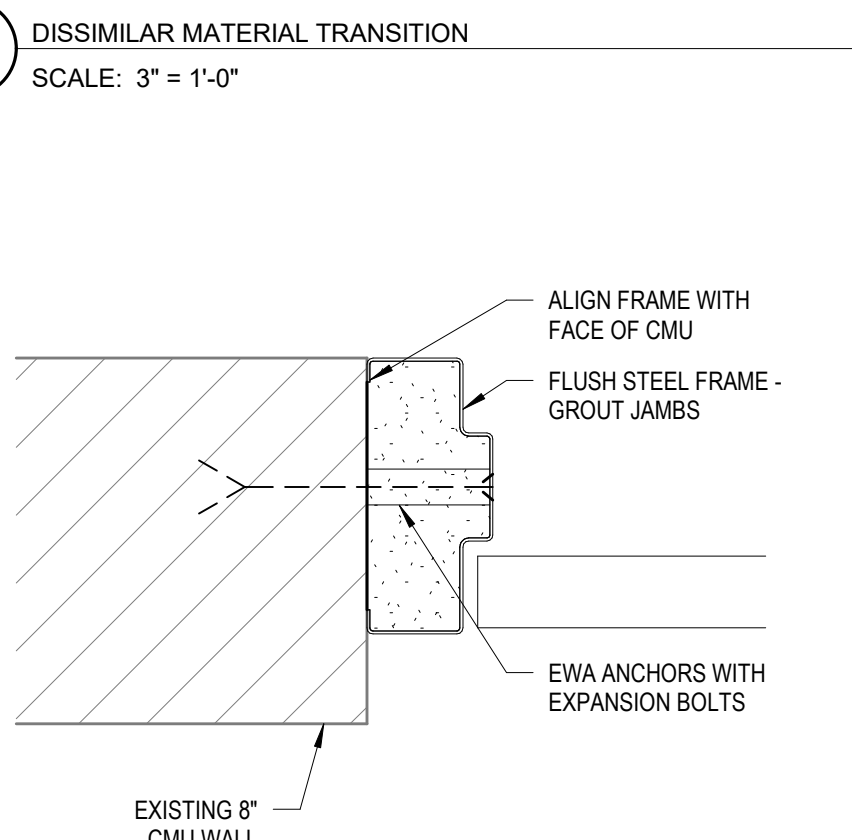
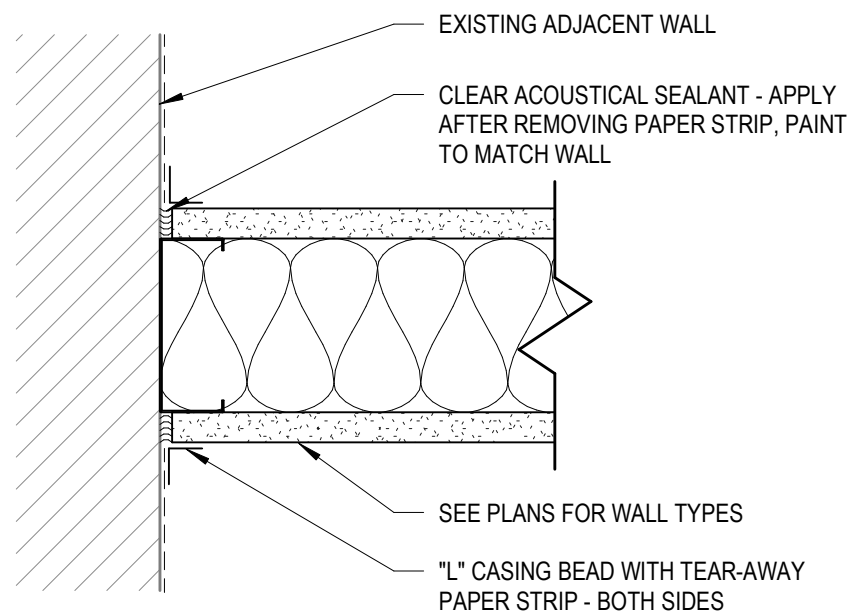
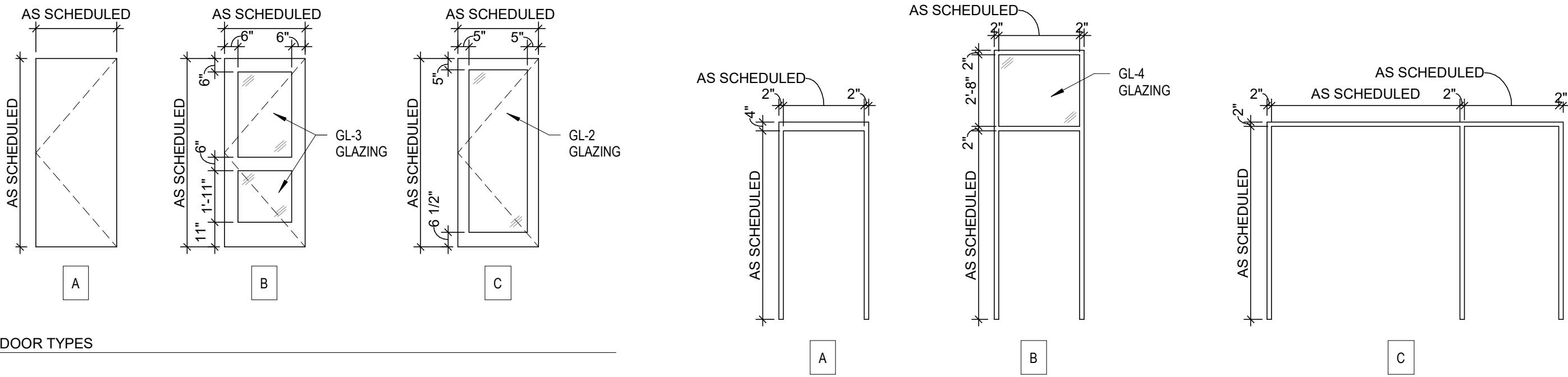
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DOOR SCHEDULE &
WALL TYPES

A610

DOOR AND FRAME SCHEDULE																
NUMBER	DOOR						FRAME						DETAIL			
	TYPE	MAT'L	FINISH		WIDTH	HEIGHT	TYPE	MAT'L	FINISH	THRESH	JAMB	HEAD	LABEL	HARDWARE	REMARKS	NUMBER
105-1	B	WD	STAINED	(2)	7'-0"	7'-10"	C	HM	PAINTED	7/A812 SIM.	1/A810	2/A810		1		105-1
105-2	B	WD	STAINED		3'-6"	7'-10"	C	HM	PAINTED	7/A812 SIM.	1/A810	2/A810		2		105-2
105B	A	WD	STAINED		3'-0"	7'-0"	B	HM	PAINTED		3/A610	5/A610		3		105B
105D-1	B	WD	STAINED	(2)	7'-0"	7'-10"	SEE SECT	HM	PAINTED		8/A812	3/A610		5		105D-1
105D-2	B	WD	STAINED	(2)	7'-0"	7'-10"	SEE SECT	HM	PAINTED		8/A812	3/A610		4		105D-2
105D-3	A	INSUL HM	PAINTED		3'-0"	7'-8"	A	INSUL HM	PAINTED	2/A610	5/A810	6/A810		6		105D-3
105D-4	C	ALUM	DK BRZ		3'-0"	7'-10"	SEE SECT	ALUM	DK BRZ	2/A610	6 & 7/A600			7	PART OF STOREFRONT SYSTEM	105D-4
105E-1	A	WD	STAINED	(2)	3'-2"	7'-8"	A	HM	PAINTED	2/A610 SIM.	7/A810	8/A810		9		105E-1
105E-2	A	WD	STAINED	(2)	3'-2"	7'-8"	A	HM	PAINTED	7/A812	4/A610	4/A610		9		105E-2
105E-3	A	WD	STAINED	(2)	3'-2"	7'-8"	A	HM	PAINTED	2/A812	4/A610	4/A610		9		105E-3
105E-4	A	HM	PAINTED	(2)	3'-2"	7'-8"	A	HM	PAINTED		4/A610	4/A610		8		105E-4
110	A	WD	STAINED		3'-0"	7'-0"	EXIST	HM	PAINTED	4/A812				10	INSTALL DOOR IN EXISTING FRAME	110
111A	A	-	-		3'-0"	7'-0"	A	HM	PAINTED		6/A610	4/A610			FRAME ONLY	111A
111B	A	WD	STAINED		3'-0"	7'-0"	A	HM	PAINTED	5/A812	4/A610	4/A610		3		111B
111C	A	WD	STAINED		3'-0"	7'-0"	A	HM	PAINTED	5/A812	6/A610	4/A610		11		111C
111D	A	WD	STAINED		3'-0"	7'-0"	A	HM	PAINTED	5/A812	4/A610	4/A610		11		111D
111F	A	WD	STAINED		3'-0"	7'-0"	A	HM	PAINTED	5/A812	4/A610	4/A610		3		111F
111G	A	WD	STAINED		3'-0"	7'-0"	A	HM	PAINTED	5/A812	4 & 6/A610	4/A610		3		111G



FINISH SCHEDULE									
RM #	ROOM NAME	FLOORS	BASE	WALL FINISH				CEILING	REMARKS
		FINISH	FINISH	NORTH FINISH	EAST FINISH	SOUTH FINISH	WEST FINISH	FINISH	
102	EXERCISE	RF-1/RF-2	RB-1	PT-1/PT-2	PT-7	EX/PT-7	PT-5	OTS/EX	PAINT EXPOSED STRUCTURE AND UTILITIES TO MATCH EXISTING
103	OFFICE	RF-2	RB-1	PT-1	PT-1	PT-1	PT-1	OTS/EX	PAINT EXPOSED STRUCTURE AND UTILITIES TO MATCH EXISTING
105A	CORRIDOR	EX/CPT-3/CPT-4	SEE PLAN	EX/PT-4/DP-1	NA	PT-6/DP-1	NA	PL/WAP-1	
105B	COMFORT	CPT-3	RB-1	PT-1	PT-6	PT-1	PT-1	GW/B/PT-10	
105C	PRE-FUNCTION	TZ-1/TZ-2/TZ-3	SEE PLAN	SEE PLAN	SEE PLAN	SEE PLAN	DP-1/PT-2/PT-6	OTS/PT-11	
105D	GYMNASIUM	RSF-1/RSF-2	RB-1	CMU-1	CMU-1	CMU-1	CMU-1	OTS/PT-11	PAINT HEADWALLS ABOVE STOREFRONT TO MATCH METAL DECK
105E	STORAGE	SC-1	RB-1	PT-1	PT-1	PT-1	PT-1	OTS	
105F	MECHANICAL	SC-1	RB-1	PT-1	PT-1	PT-1	PT-1	OTS	
110	STORAGE	CPT-1	RB-1	PT-1	PT-1	PT-1	PT-1	GW/B/PT-9	
111	CORRIDOR	CPT-1/CPT-2	RB-1	PT-2	PT-1	PT-3	PT-2	GW/B/PT-10	
111A	LOCKER ROOM	CPT-1/CPT-2	CTB-1	PT-3/PT-1	PT-3/PT-1	PT-1	PT-1/PT-3/CT-4	GW/B/PT-9	SEE ELEVATIONS
111B	SHOWER	CT-2	CTB-1	SS-1	SS-1/PT-1	PT-1	SS-1/PT-1	GW/B/PT-9	SEE ELEVATIONS
111C	WOMENS	CT-1	CTB-1	CT-3	PT-1	CT-3/CT-4	CT-3	GW/B/PT-9	SEE ELEVATIONS
111D	MENS	CT-1	CTB-1	CT-3/CT-4	PT-1	CT-3	CT-3	GW/B/PT-9	SEE ELEVATIONS
111F	ADA TOILET	CT-1	CTB-1	PT-1	CT-3/CT-4	CT-3	PT-1	GW/B/PT-9	SEE ELEVATIONS
111G	ADA TOILET	CT-1	CTB-1	PT-1	PT-1	CT-3	CT-3/CT-4	GW/B/PT-9	SEE ELEVATIONS

GENERAL NOTES - FINISHES

CPT-3 FLOOR FINISH

CPT-4 FLOOR FINISH

TZ-1 FLOOR FINISH

TZ-2 FLOOR FINISH

TZ-3 FLOOR FINISH

1. EXISTING FINISHES TO REMAIN IN ALL ROOMS NOT LISTED ON FINISH SCHEDULE.

2. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

3. PAINT EXPOSED STRUCTURE AND MEP+FP UTILITIES TO MATCH ADJACENT WALL OR CEILING. PATCH AND PAINT EXISTING EXPOSED STRUCTURE AND MEP+FP UTILITIES WHERE WALLS AND OTHER ITEMS REMOVED.

4. SEE DOOR SCHEDULE FOR DOOR FRAMES TO BE PAINTED.

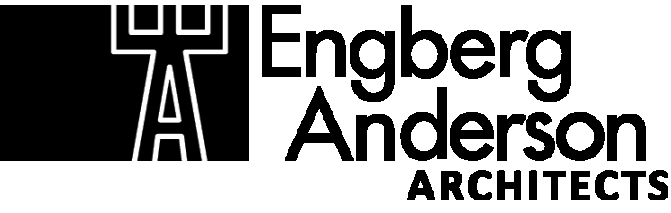
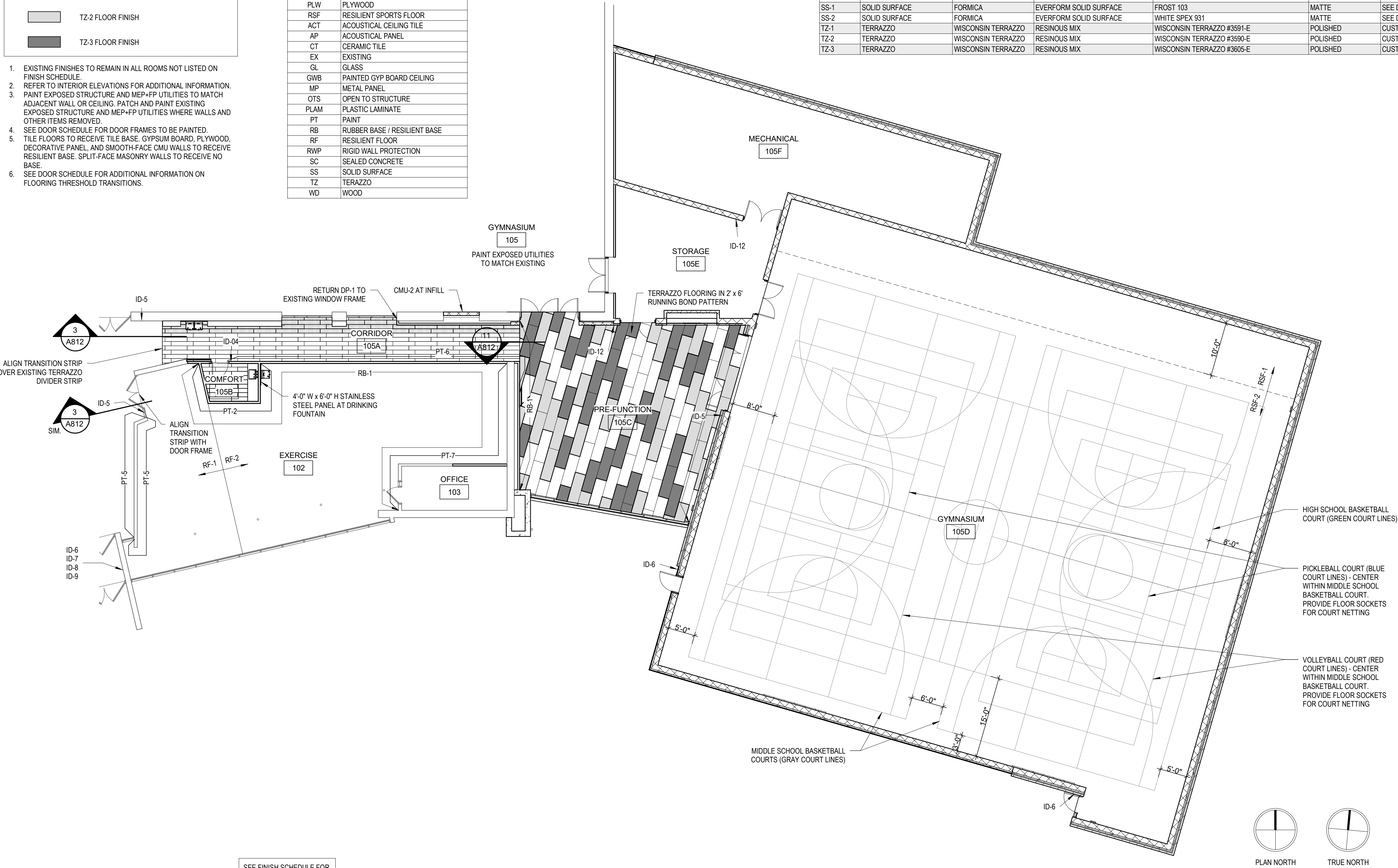
5. TILE FLOORS TO RECEIVE TILE BASE. GYPSUM BOARD, PLYWOOD, DECORATIVE PANEL, AND SMOOTH-FACE CMU WALLS TO RECEIVE RESILIENT BASE. SPLIT-FACE MASONRY WALLS TO RECEIVE NO BASE.

6. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION ON FLOORING THRESHOLD TRANSITIONS.

ABBREVIATIONS - FINISH

FINISH TAG	FINISH DESCRIPTION
CMU-1	CMU
CMU-2	CMU
CPT	CARPET TILE
DP	DECORATIVE PANEL
PLW	PLYWOOD
RSF	RESILIENT SPORTS FLOOR
ACT	ACOUSTICAL CEILING TILE
AP	ACOUSTICAL PANEL
CT	CERAMIC TILE
EX	EXISTING
GL	GLASS
GW/B	PAINTED GYP BOARD CEILING
MP	METAL PANEL
OTS	OPEN TO STRUCTURE
PLAM	PLASTIC LAMINATE
PT	PAINT
RB	RUBBER BASE / RESILIENT BASE
RF	RESILIENT FLOOR
RWP	RIGID WALL PROTECTION
SC	SEALED CONCRETE
SS	SOLID SURFACE
TZ	TERRAZZO
WD	WOOD

FINISH KEY							
TAG	PRODUCT	MANUFACTURER	COLLECTION/STYLE	COLOR	FINISH	SIZE	NOTES
AP-1	ACOUSTIC PANEL	ARKTURA	VAPOR TRAIL	ARKTURA WHITE	MATTE	24" X 48"	
CMU-1	CONCRETE MASONRY UNIT	COUNTY MATERIALS CORP.	SPLITFACE/SMOOTHFACE	SANDSTONE 18-314C	SMOOTH	8" X 16"	
CMU-2	CONCRETE MASONRY UNIT	COUNTY MATERIALS CORP.	PREMIER ULTRA BURNISHED	NORTH STAR 63-222B	SMOOTH	8" X 16"	
CPT-1	CARPET TILE	FORBO	FLOTEX/SEAGRASS	ALMOND 111003	STANDARD	9.5"X 39.4"	BRICK PATTERN INSTALLATION/50% OF COLOR MIX
CPT-2	CARPET TILE	FORBO	FLOTEX/SEAGRASS	CHARCOAL 111004	STANDARD	9.5"X 39.4"	BRICK PATTERN INSTALLATION/50% OF COLOR MIX
CPT-3	CARPET TILE	FORBO	FLOTEX/SEAGRASS	WALNUT 111005	STANDARD	9.5"X 39.4"	BRICK PATTERN INSTALLATION
CPT-4	CARPET TILE	FORBO	FLOTEX/SEAGRASS	LIQUORICE 111006	STANDARD	9.5"X 39.4"	BRICK PATTERN INSTALLATION
CT-1	CERAMIC TILE	DALTILE	FABRIC ART/MODERN LINEAR	TAUPE ML62	MATTE	12" X 24"	
CT-2	CERAMIC TILE	DALTILE	FABRIC ART/MODERN TEXTILE	TAUPE MT52	MATTE	1" X 3" MOSAIC	
CT-3	CERAMIC TILE	DALTILE	FABRIQUE	BLANC LINEN P685	MATTE	12" X 24"	
CT-4	CERAMIC TILE	CAESAR CERAMICHE	COCOON/CADENCE TILE	GLEE	MATTE	8" X 48"	
CTB-1	CERAMIC TILE BASE	DALTILE	FABRIC ART/MODERN LINEAR	TAUPE ML62	MATTE	6" X 12"	
DP-1	DECORATIVE PANEL	ACROVYN	ACROVYN BY DESIGN METALLICS	MEDIUM BRONZE #18172	METALLIC	-	
PT-1	PAINT	BENJAMIN MOORE	WALL PAINT	CLOUD WHITE 967	SEMI-GLOSS	-	
PT-2	PAINT	BENJAMIN MOORE	ACCENT PAINT	EDGEComb GRAY HC-173	SEMI-GLOSS	-	
PT-3	PAINT	SHERWIN WILLIAMS	ACCENT PAINT	REFUGE SW6228	SEMI-GLOSS	-	
PT-4	PAINT	SHERWIN WILLIAMS	ACCENT PAINT	CURIO GRAY SW0024	EGGSHELL	-	
PT-5	PAINT	SHERWIN WILLIAMS	ACCENT PAINT	STILL WATER SW6223	EGGSHELL	-	
PT-6	PAINT	SHERWIN WILLIAMS	ACCENT PAINT	INTERESTING AQUA SW6220	EGGSHELL	-	
PT-7	PAINT	BENJAMIN MOORE	ACCENT PAINT	GRENADA GREEN 432	EGGSHELL	-	
PT-8	PAINT	BENJAMIN MOORE	DOOR FRAME PAINT	DEVONSHIRE GREEN 1489	SEMI-GLOSS	-	
PT-9	PAINT	SHERWIN WILLIAMS	CEILING PAINT	HIGH REFLECTIVE WHITE SW7757	SEMI-GLOSS	-	
PT-10	PAINT	SHERWIN WILLIAMS	CEILING PAINT	HIGH REFLECTIVE WHITE SW7757	FLAT	-	
PT-11	PAINT	BENJAMIN MOORE	CEILING PAINT	DUNE WHITE 968	SEMI-GLOSS	-	
RB-1	RESILIENT BASE	TARKETT	THERMOSET RUBBER	BURNT UMBER 63	SOLID	4" HIGH	
RF-1	RESILIENT FLOOR	TARKETT SPORTS	DROPTONE ELITE	DARK GREY D2502	STANDARD	48" W ROLL	
RF-2	RESILIENT FLOOR	TARKETT SPORTS	DROPTONE ELITE	MED GREY D2504	STANDARD	48" W ROLL	
RSF-1	RESILIENT SPORTS FLOOR	TARKETT SPORTS	OWNSPORTS HPL7	GOLDEN MAPLE	STANDARD	66" W ROLL	CLASS 1 SYSTEM
RSF-2	RESILIENT SPORTS FLOOR	TARKETT SPORTS	OWNSPORTS ACTIVE+	GOLDEN MAPLE	STANDARD	66" W ROLL	CLASS 3 SYSTEM
SC-1	SEALED CONCRETE	-	-	-	-	-	
SS-1	SOLID SURFACE	FORMICA	EVERFORM SOLID SURFACE	FROST 103	MATTE	SEE DETAILS	
SS-2	SOLID SURFACE	FORMICA	EVERFORM SOLID SURFACE	WHITE SPEX 931	MATTE	SEE DETAILS	
TZ-1	TERRAZZO	WISCONSIN TERRAZZO	RESINOUS MIX	WISCONSIN TERRAZZO #3591-E	POLISHED	CUSTOM	
TZ-2	TERRAZZO	WISCONSIN TERRAZZO	RESINOUS MIX	WISCONSIN TERRAZZO #3590-E	POLISHED	CUSTOM	
TZ-3	TERRAZZO	WISCONSIN TERRAZZO	RESINOUS MIX	WISCONSIN TERRAZZO #3605-E	POLISHED	CUSTOM	



MILWAUKEE | MADISON | CHICAGO

WARNER PARK COMMUNITY RECREATION CENTER EXPANSION

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CHECKED BY JWH

FINISH PLANS & SCHEDULE

A700

WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

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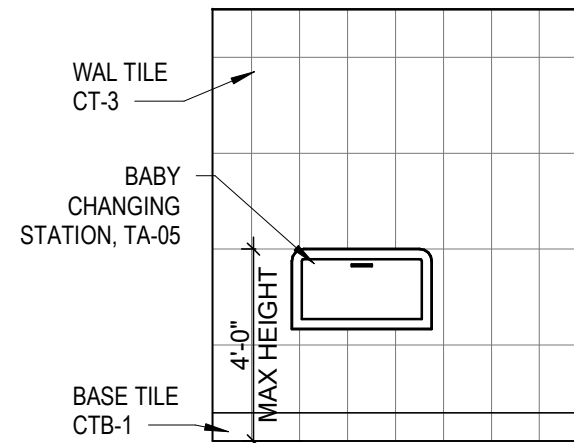
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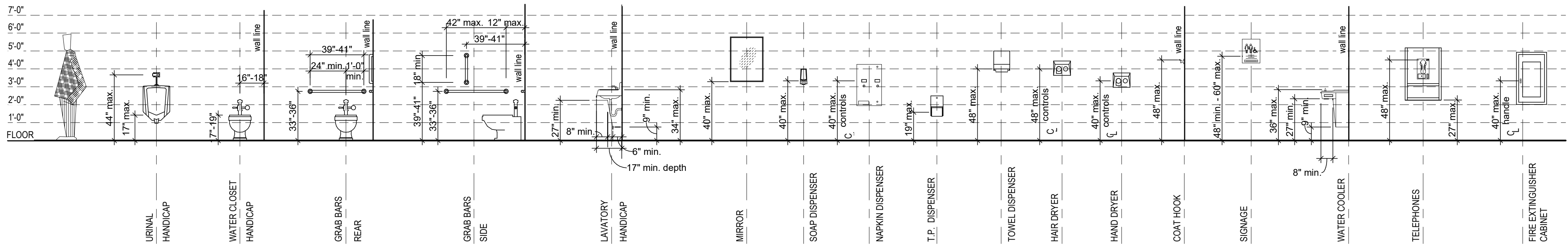
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ENLARGED PLANS &
INTERIOR ELEVATIONS

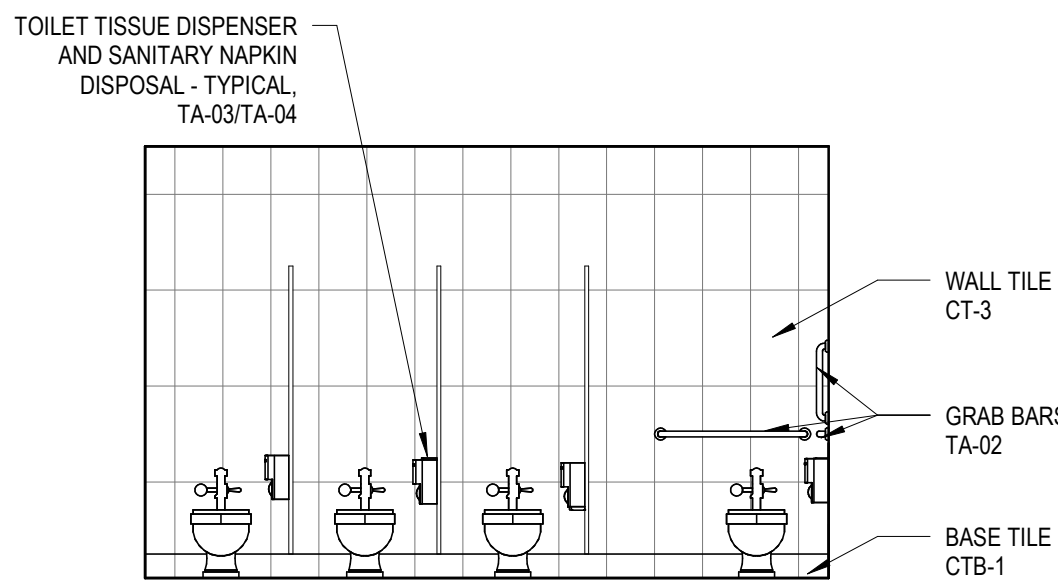
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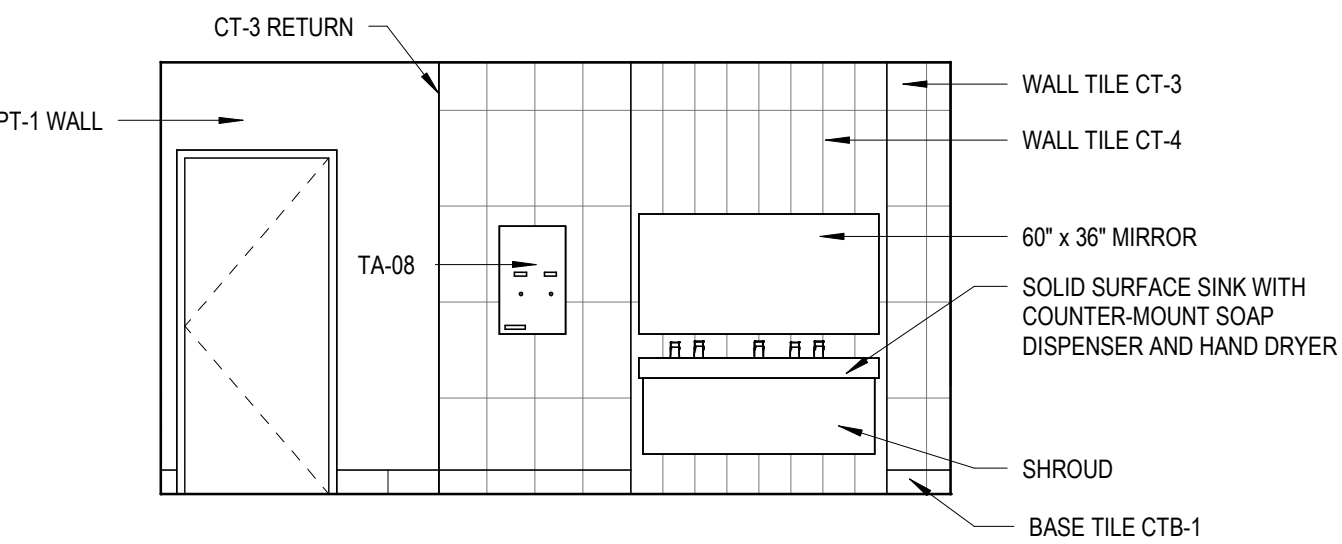
14 111F - WEST
SCALE: 1/4" = 1'-0"



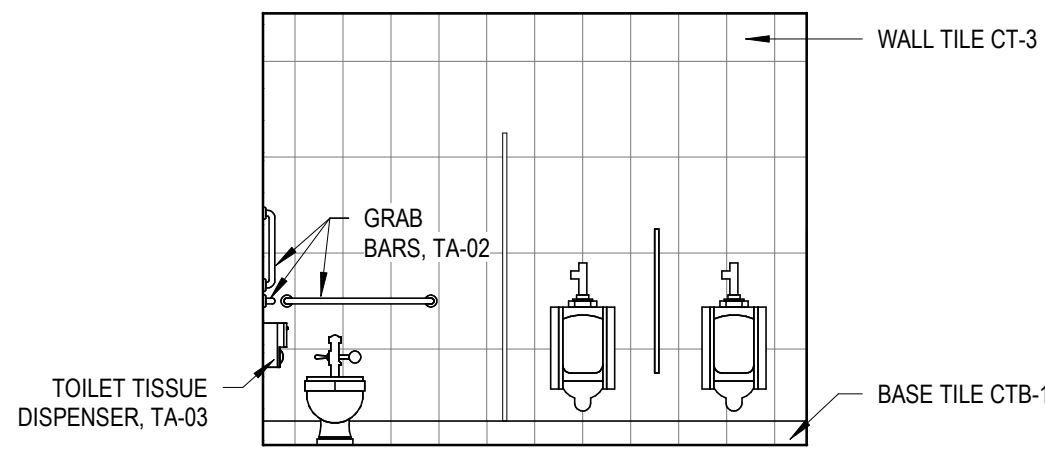
TYPICAL MOUNTING HEIGHTS LEGEND (ANSI)



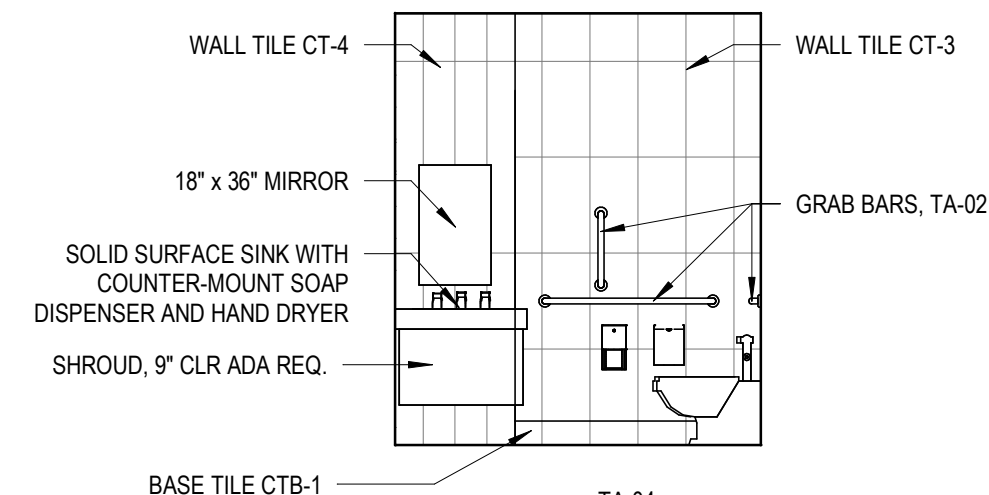
9 111C - NORTH
SCALE: 1/4" = 1'-0"



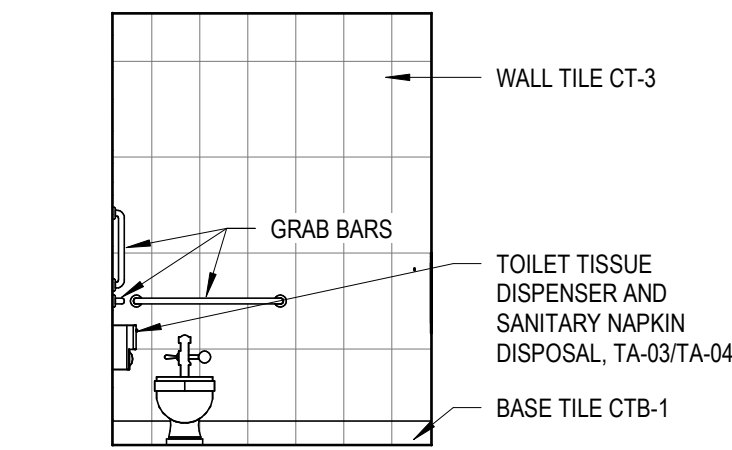
10 111C - SOUTH
SCALE: 1/4" = 1'-0"



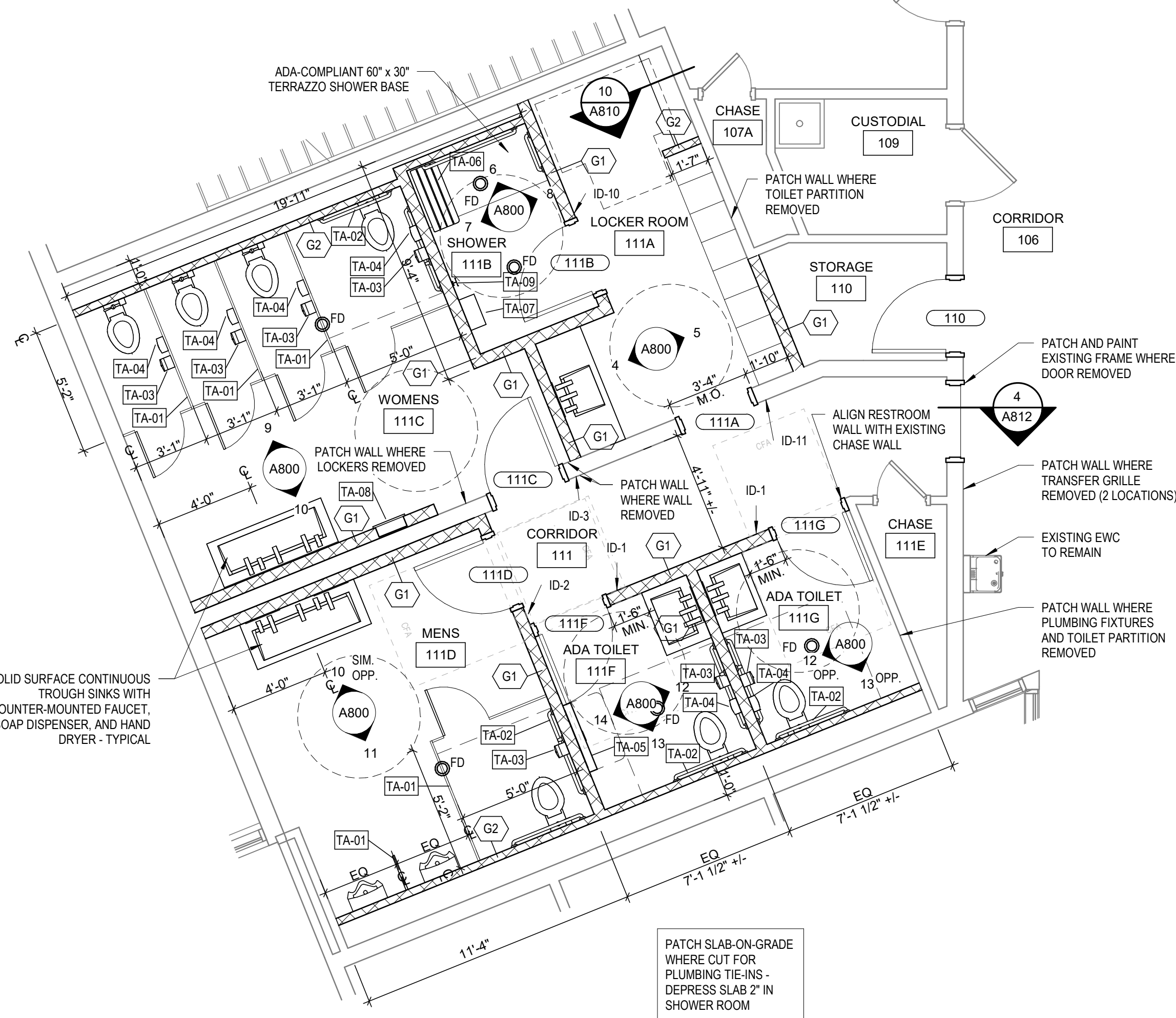
11 111D - SOUTH
SCALE: 1/4" = 1'-0"



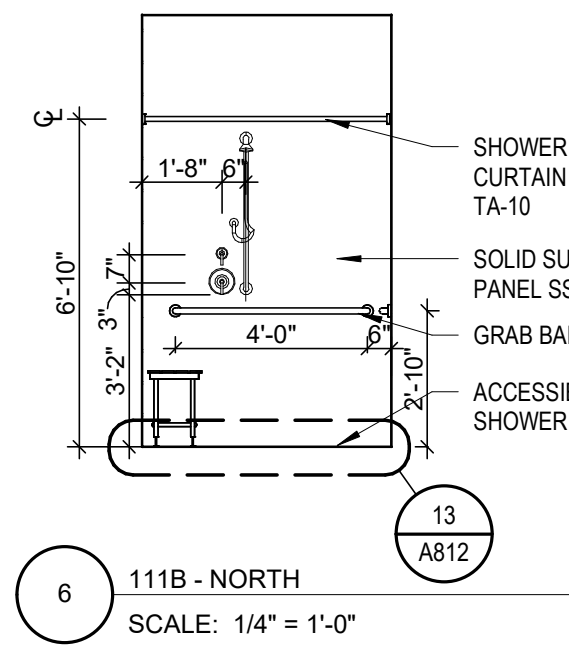
12 111F - EAST
SCALE: 1/4" = 1'-0"



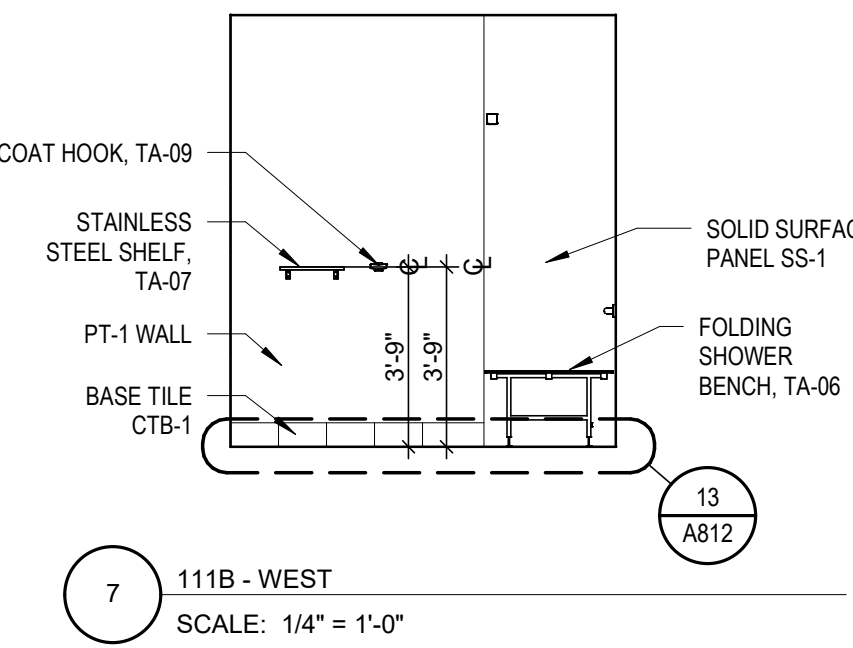
13 111F - SOUTH
SCALE: 1/4" = 1'-0"



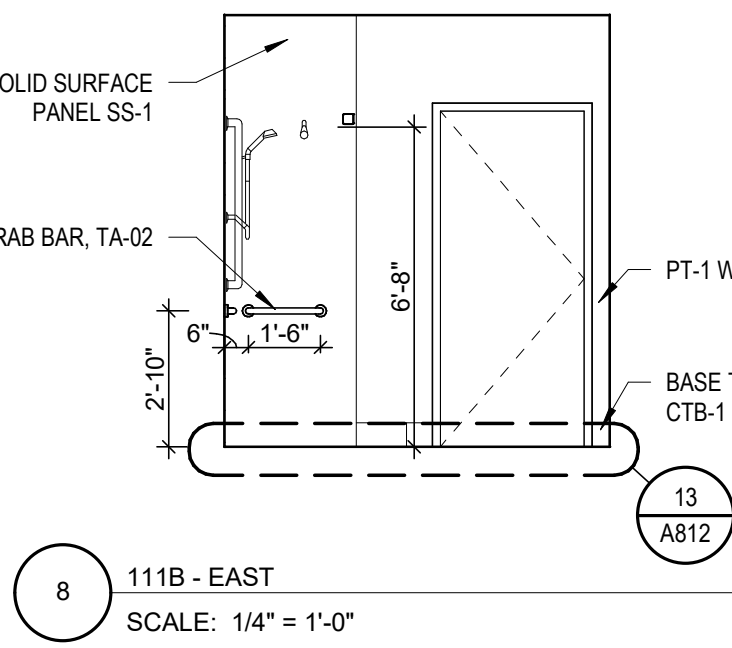
1 ENLARGED PLAN - RESTROOMS
SCALE: 1/4" = 1'-0"



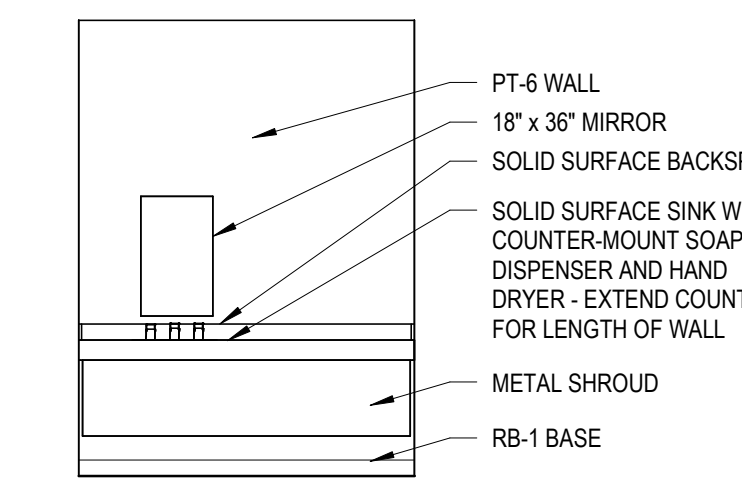
6 111B - NORTH
SCALE: 1/4" = 1'-0"



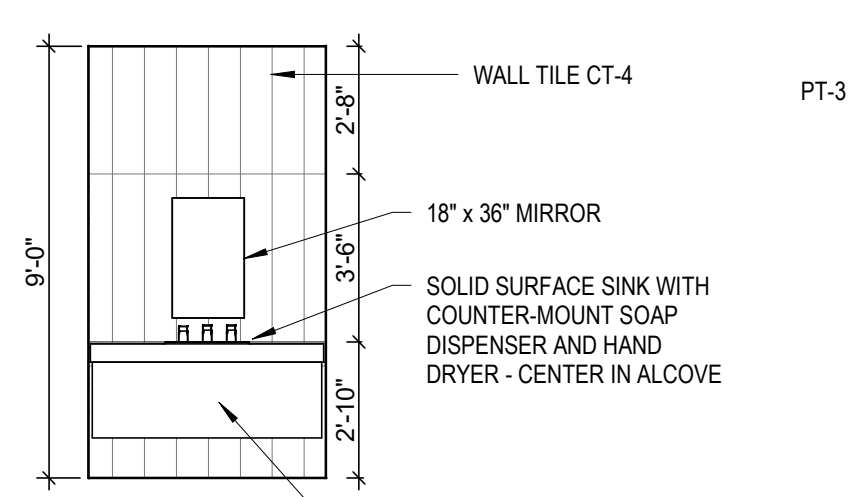
7 111B - WEST
SCALE: 1/4" = 1'-0"



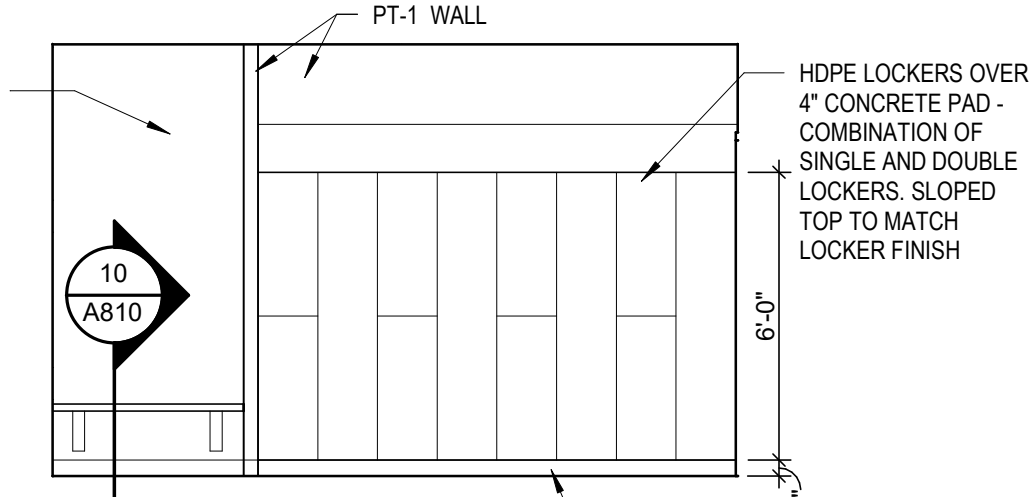
8 111B - EAST
SCALE: 1/4" = 1'-0"



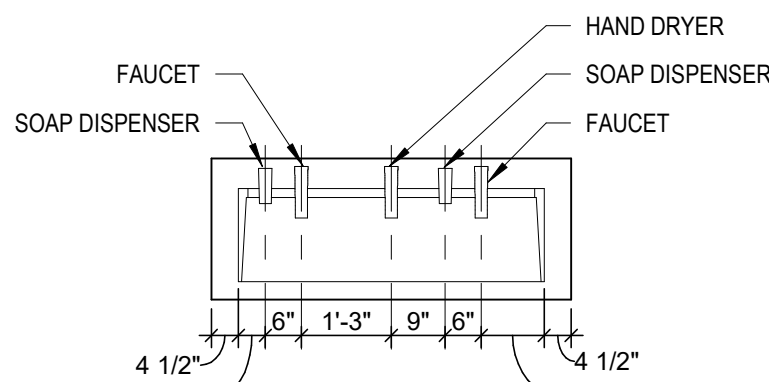
3 105B - EAST
SCALE: 1/4" = 1'-0"



4 111A - WEST
SCALE: 1/4" = 1'-0"



5 111A - EAST
SCALE: 1/4" = 1'-0"



2 SINK DETAILS
SCALE: 3/8" = 1'-0"

ROOM 111C AND 111D

ROOM 111F AND 111G

ROOM 111A

ROOM 111C AND 111D

SEE PLUMBING FOR ADDITIONAL INFORMATION

WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704
CITY OF MADISON PARKS DIVISION
330 EAST LAKESIDE STREET
MADISON, WI 53715

PROJECT NUMBER 223471.00

ISSUED FOR:

BID SET 5/16/2024

REVISION FOR:

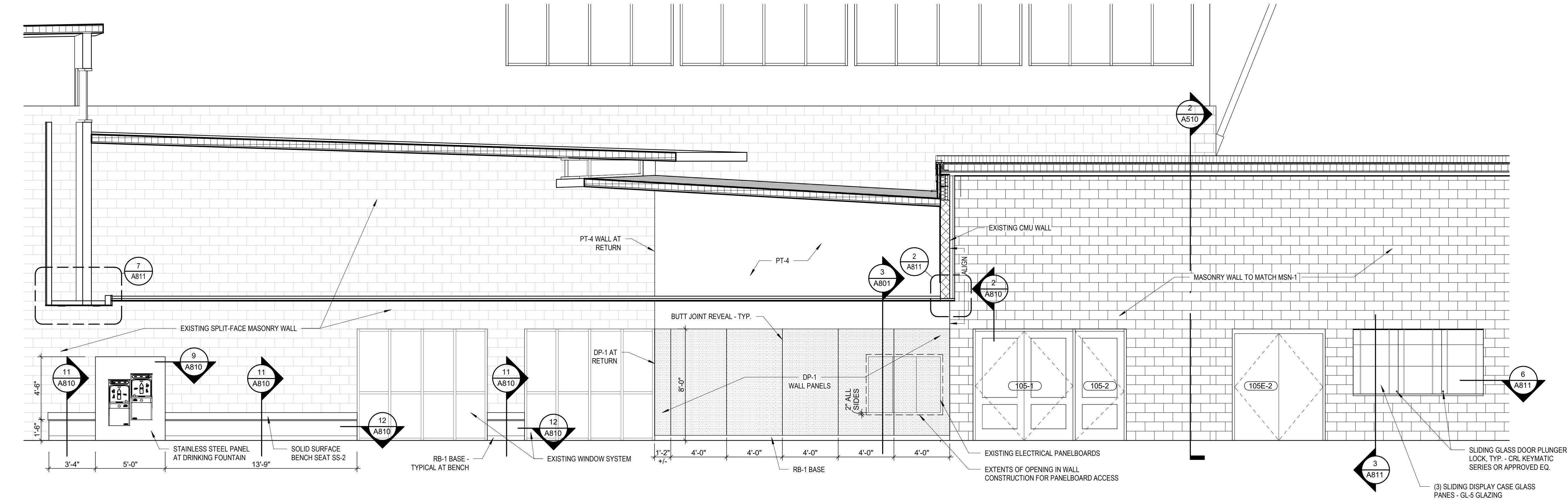
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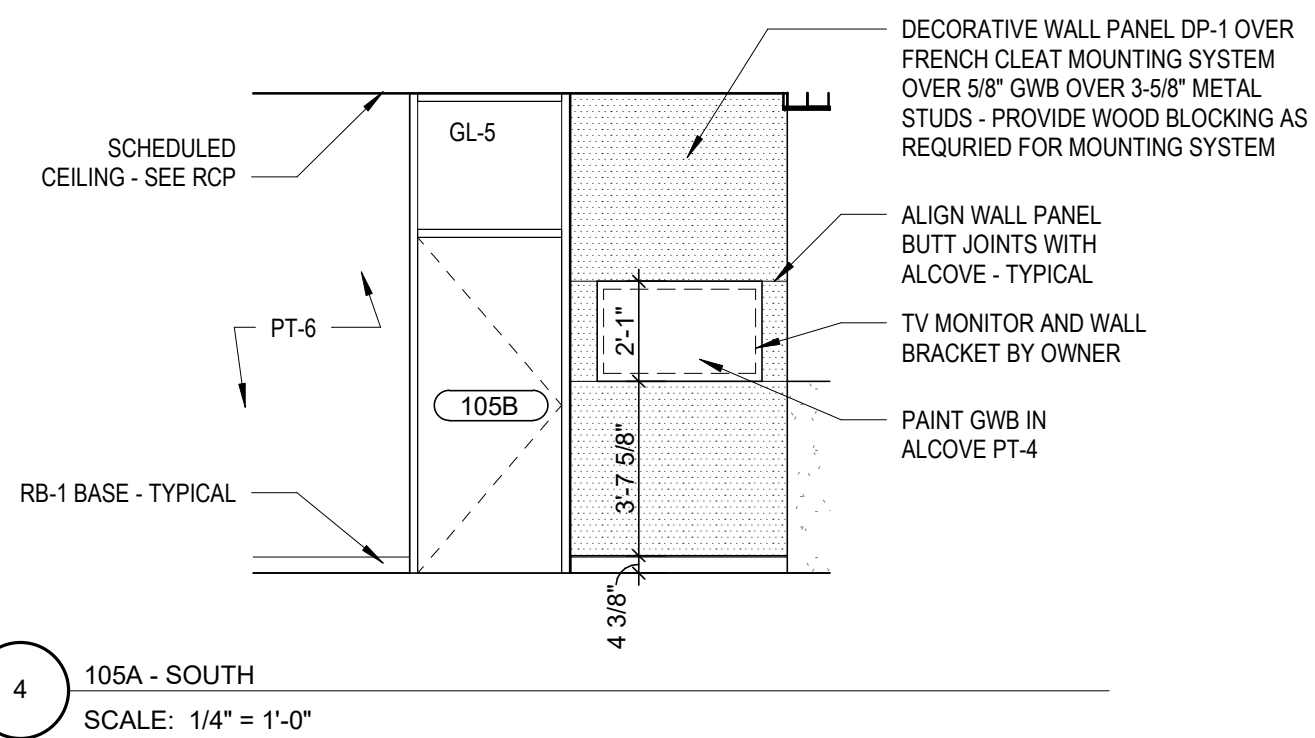
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INTERIOR ELEVATIONS

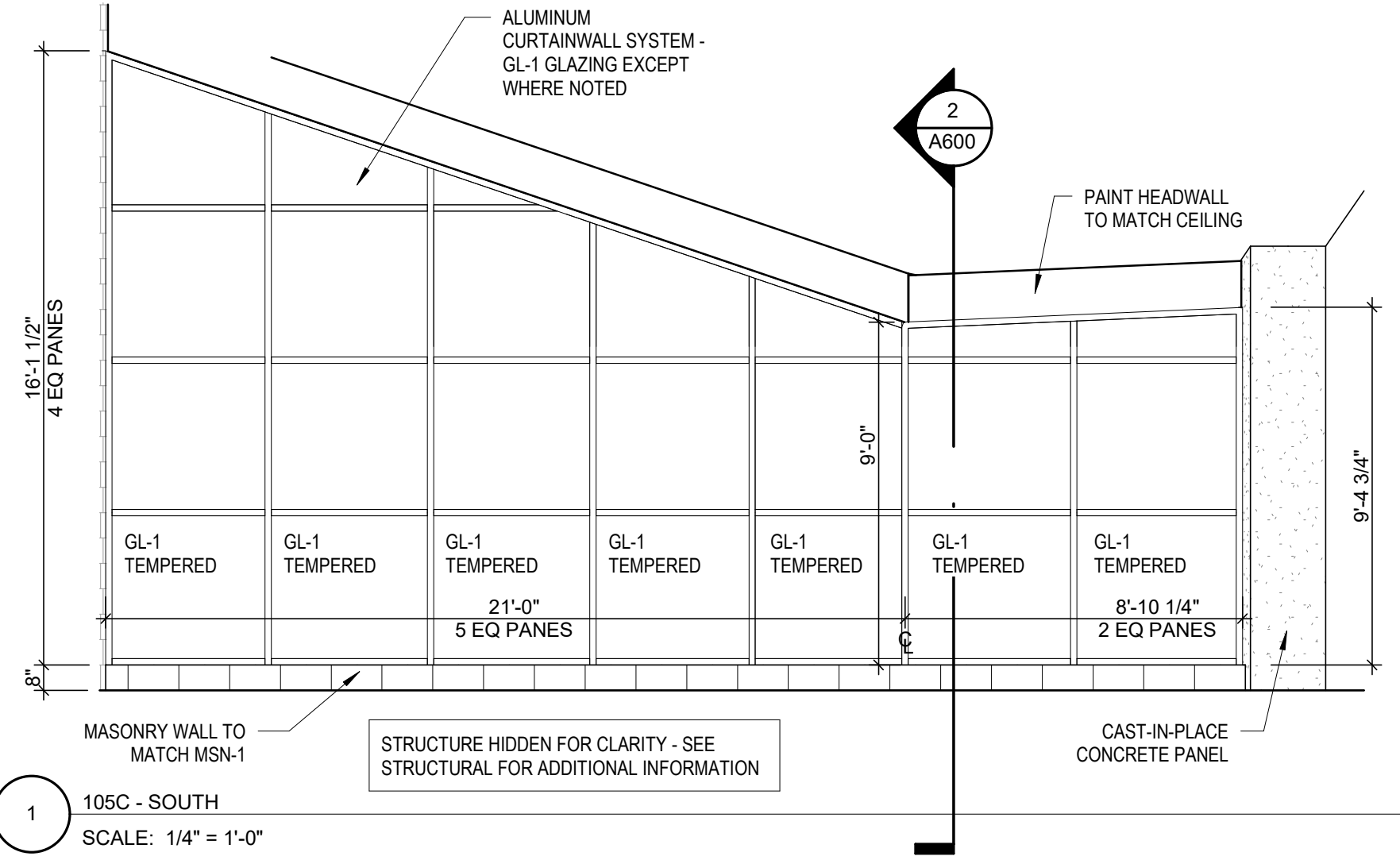
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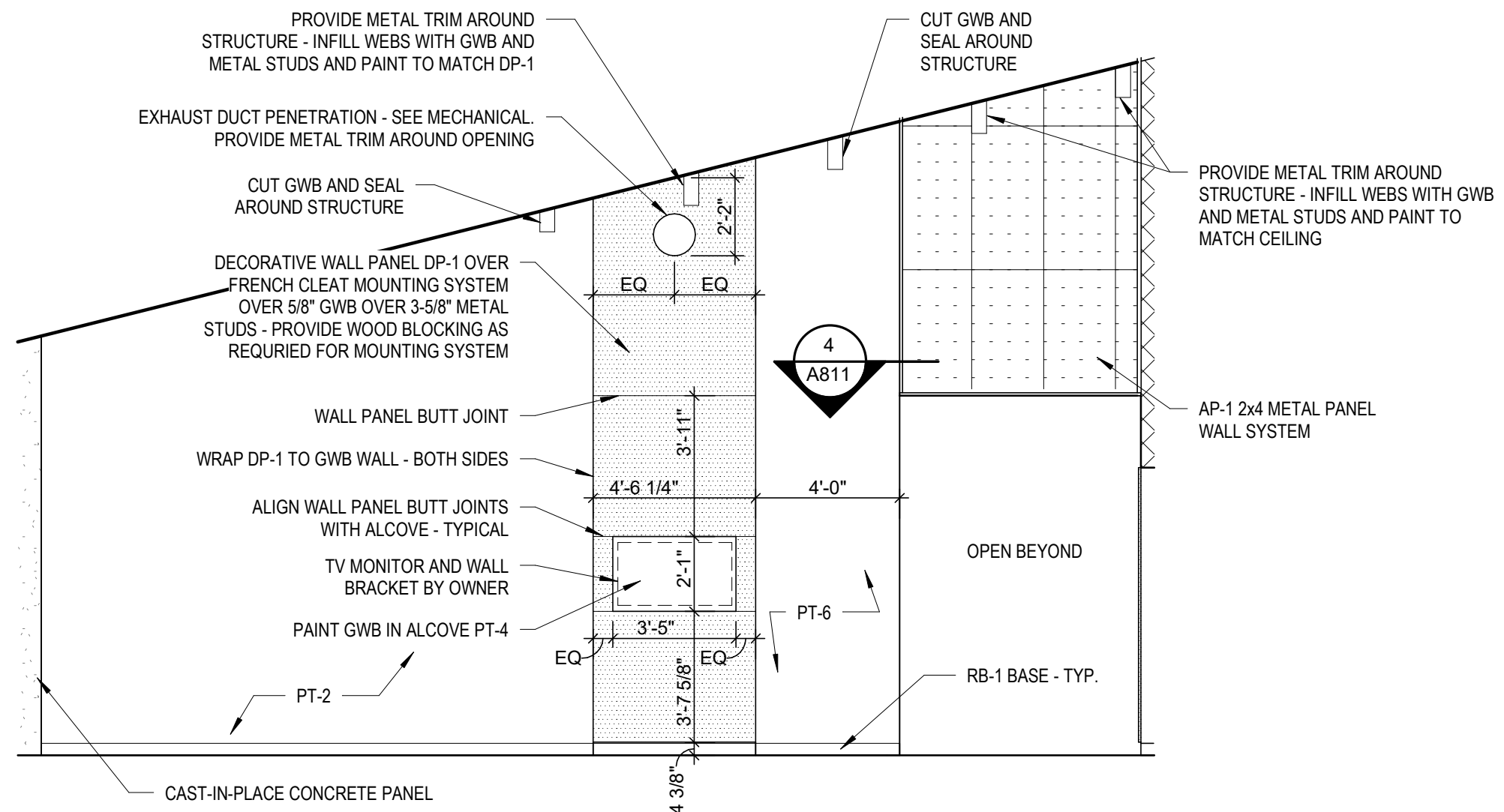
5 105A - NORTH
SCALE: 1/4" = 1'-0"



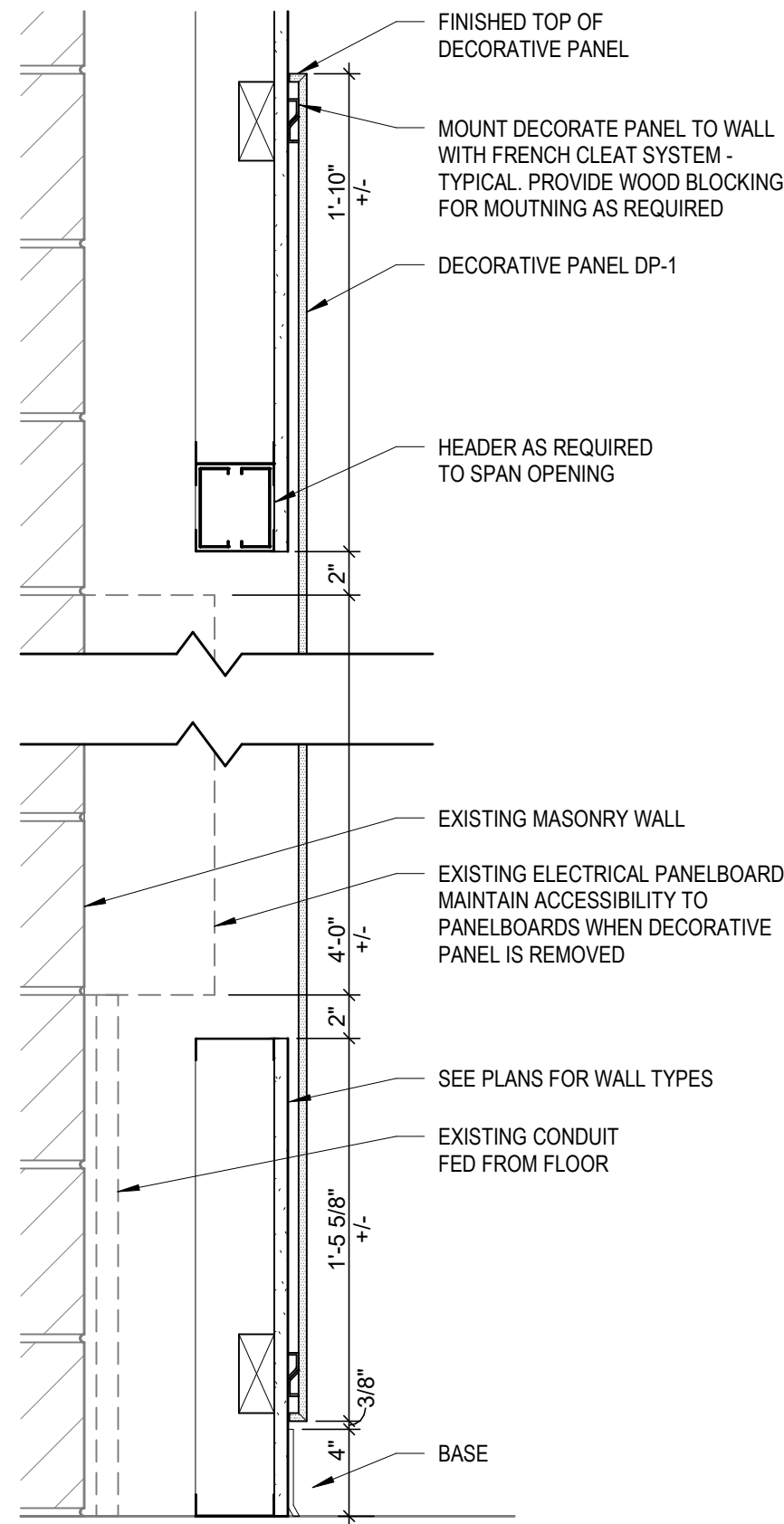
4 105A - SOUTH
SCALE: 1/4" = 1'-0"



1 105C - SOUTH
SCALE: 1/4" = 1'-0"



2 105C - WEST
SCALE: 1/4" = 1'-0"



3 WALL PANEL SECTION
SCALE: 1 1/2" = 1'-0"

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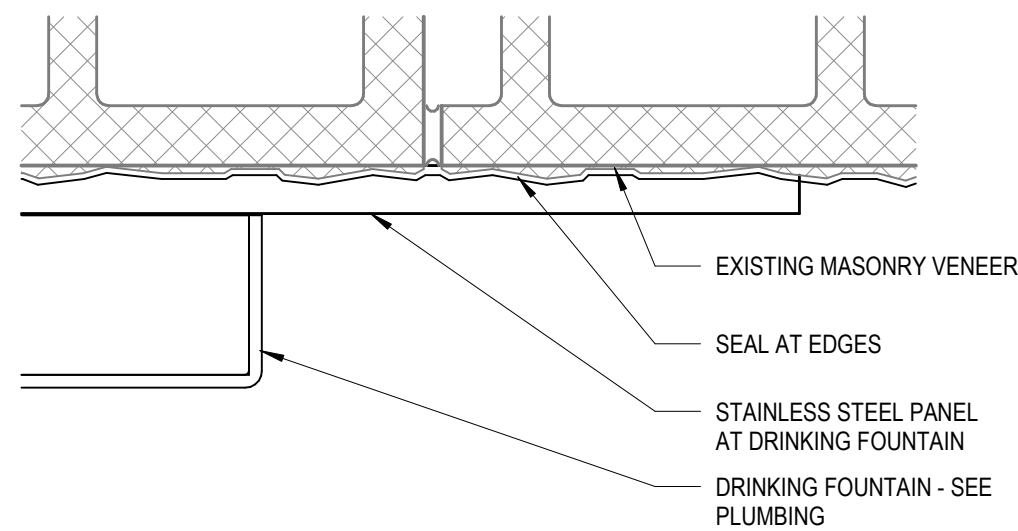
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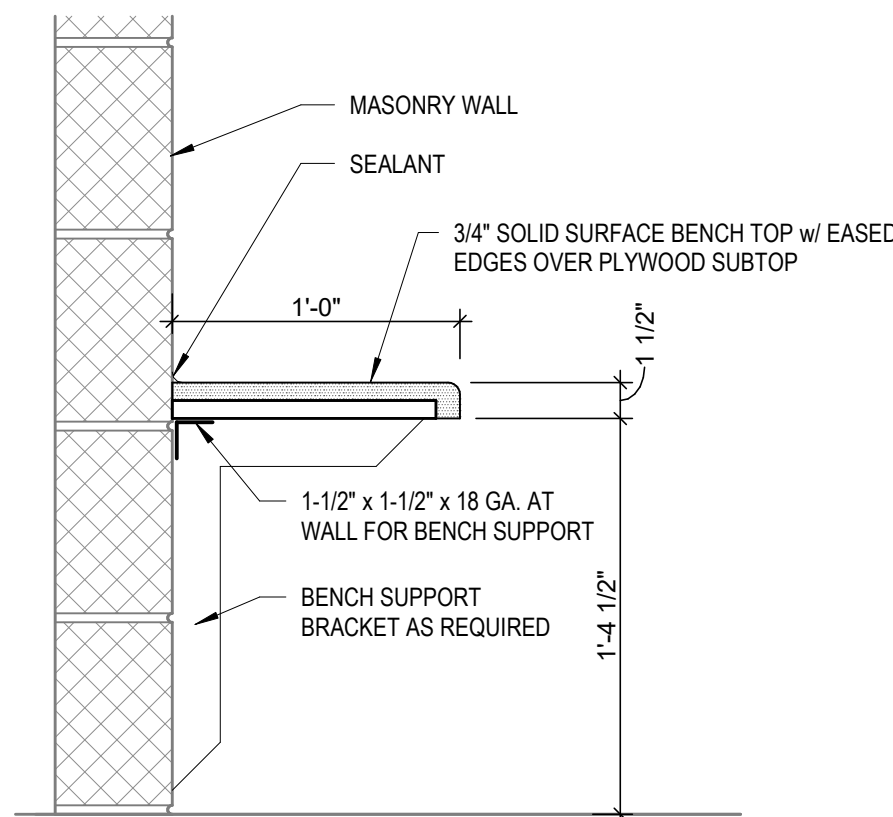
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INTERIOR DETAILS

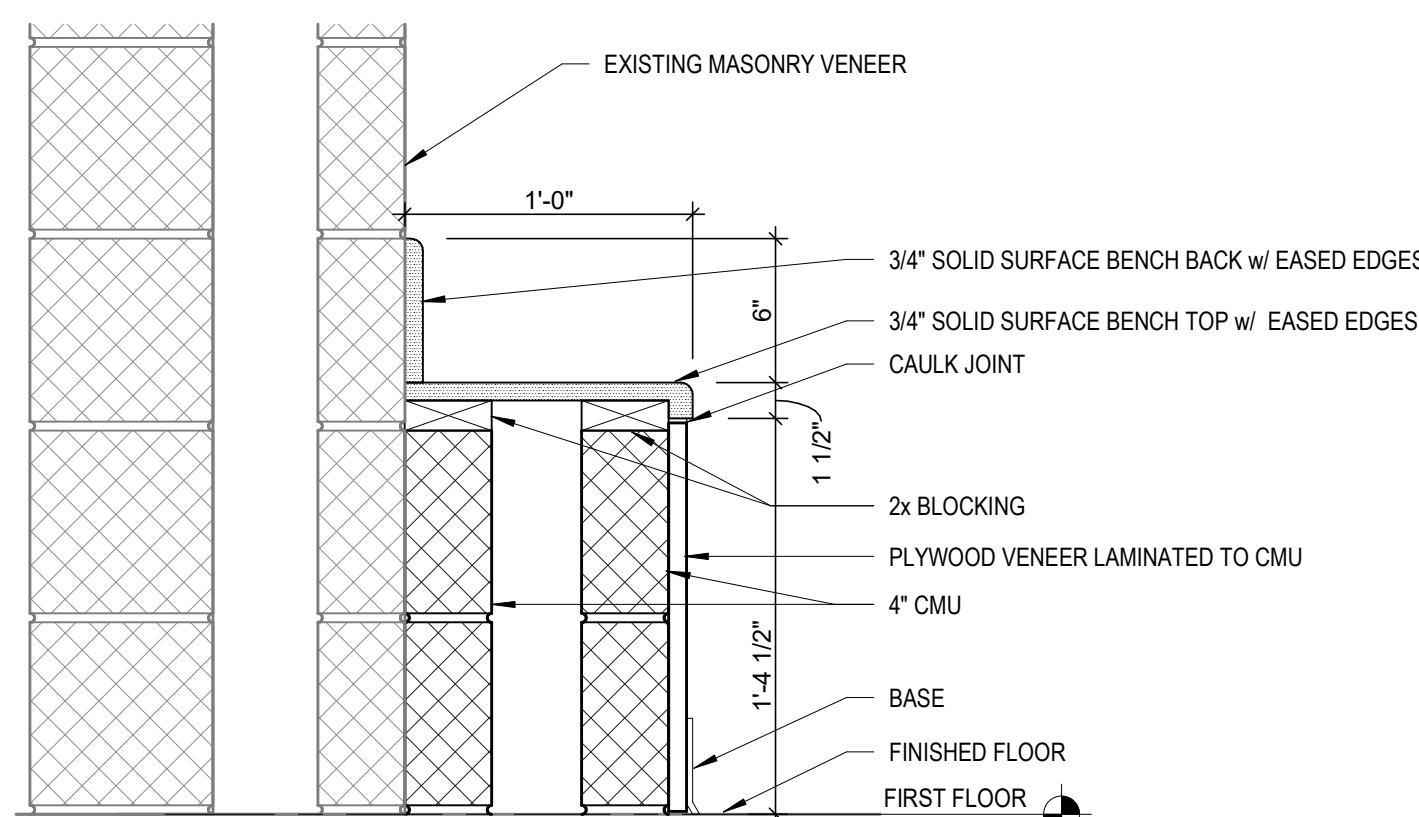
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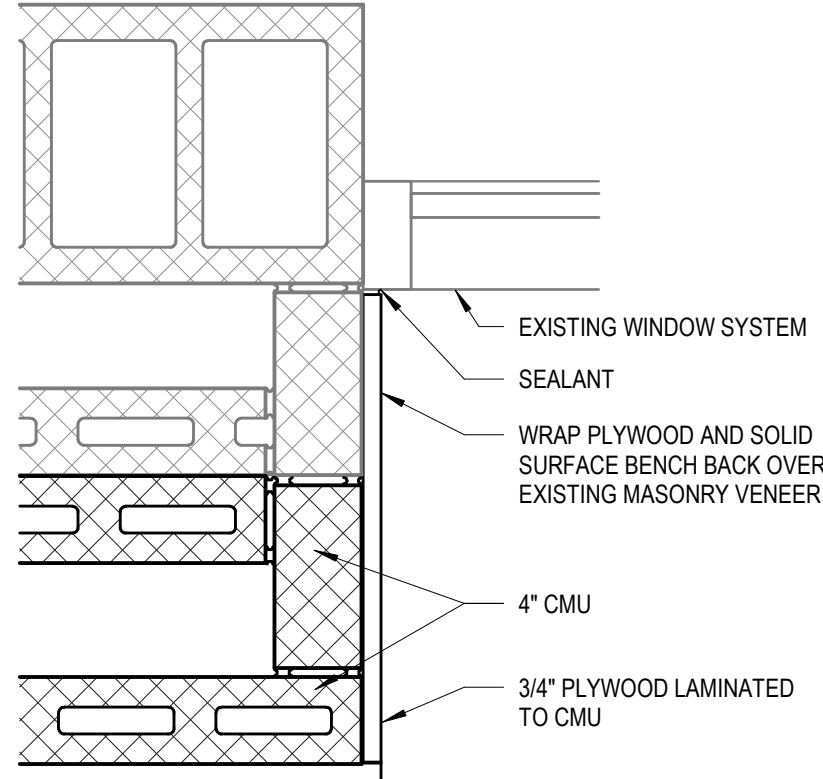
9 CORRIDOR STAINLESS STEEL
SCALE: 3" = 1'-0"



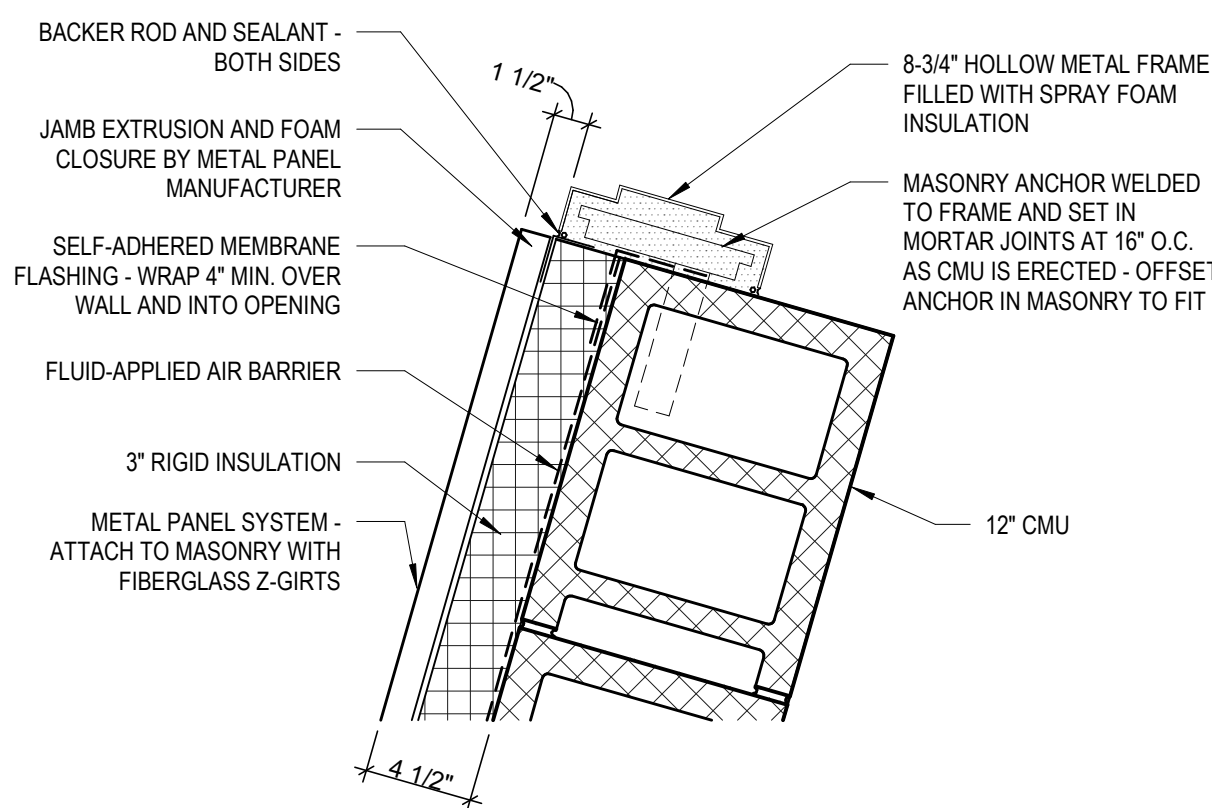
10 LOCKER ROOM BENCH
SCALE: 1 1/2" = 1'-0"



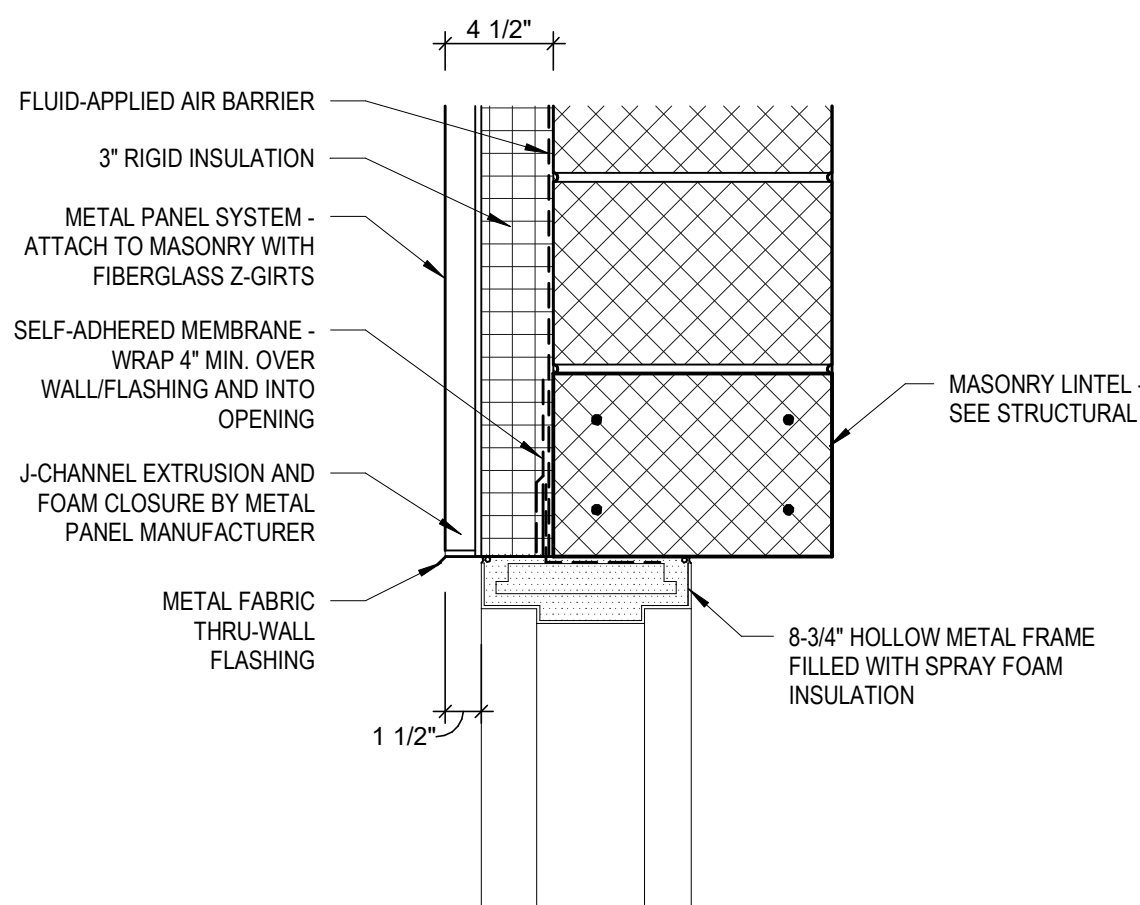
11 CORRIDOR BENCH SECTION
SCALE: 1 1/2" = 1'-0"



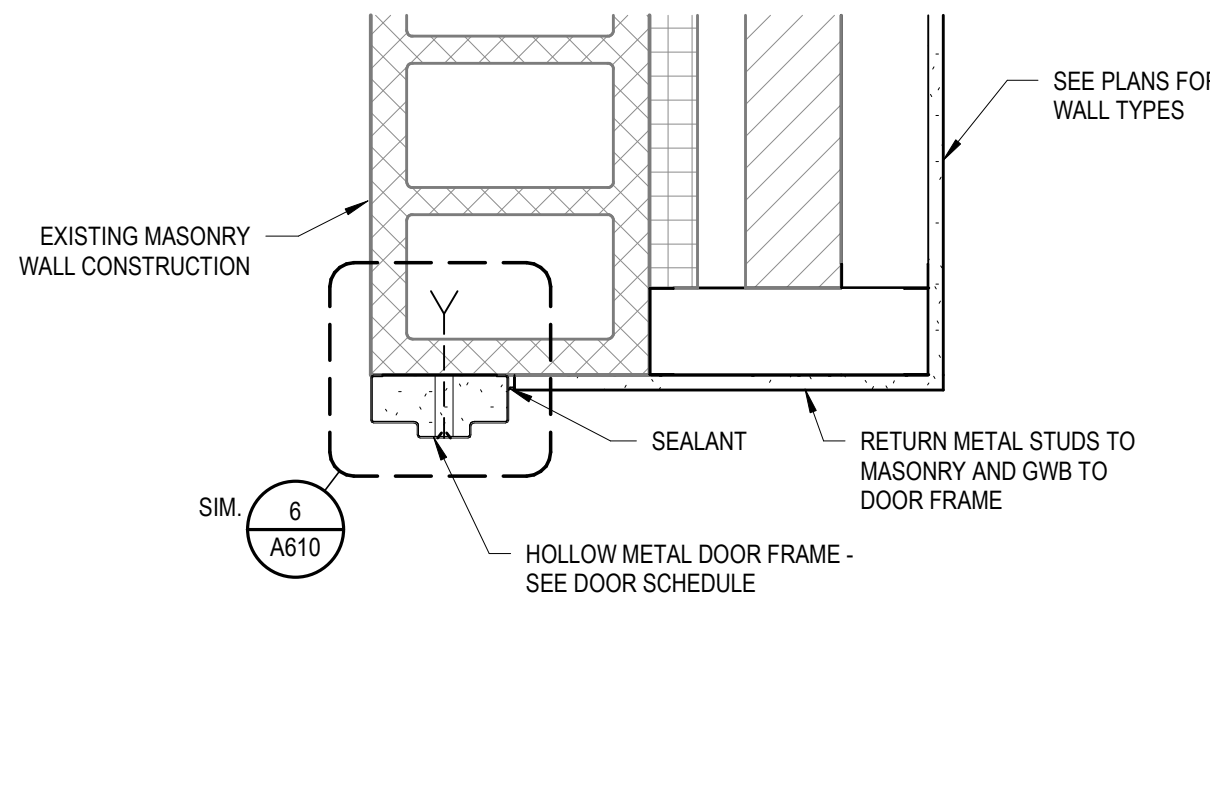
12 CORRIDOR BENCH JAMB
SCALE: 1 1/2" = 1'-0"



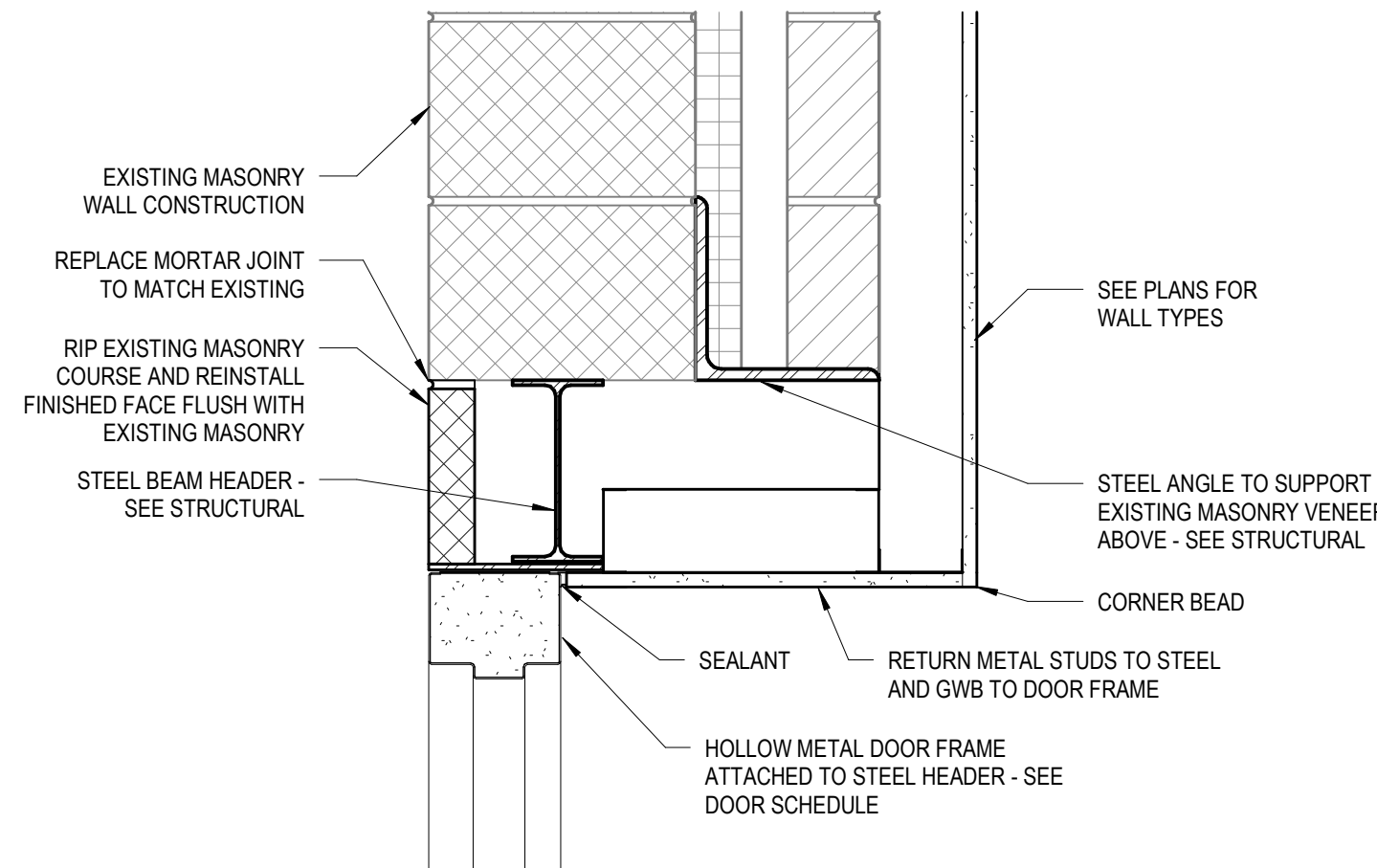
5 DOOR 105D-3 JAMB
SCALE: 1 1/2" = 1'-0"



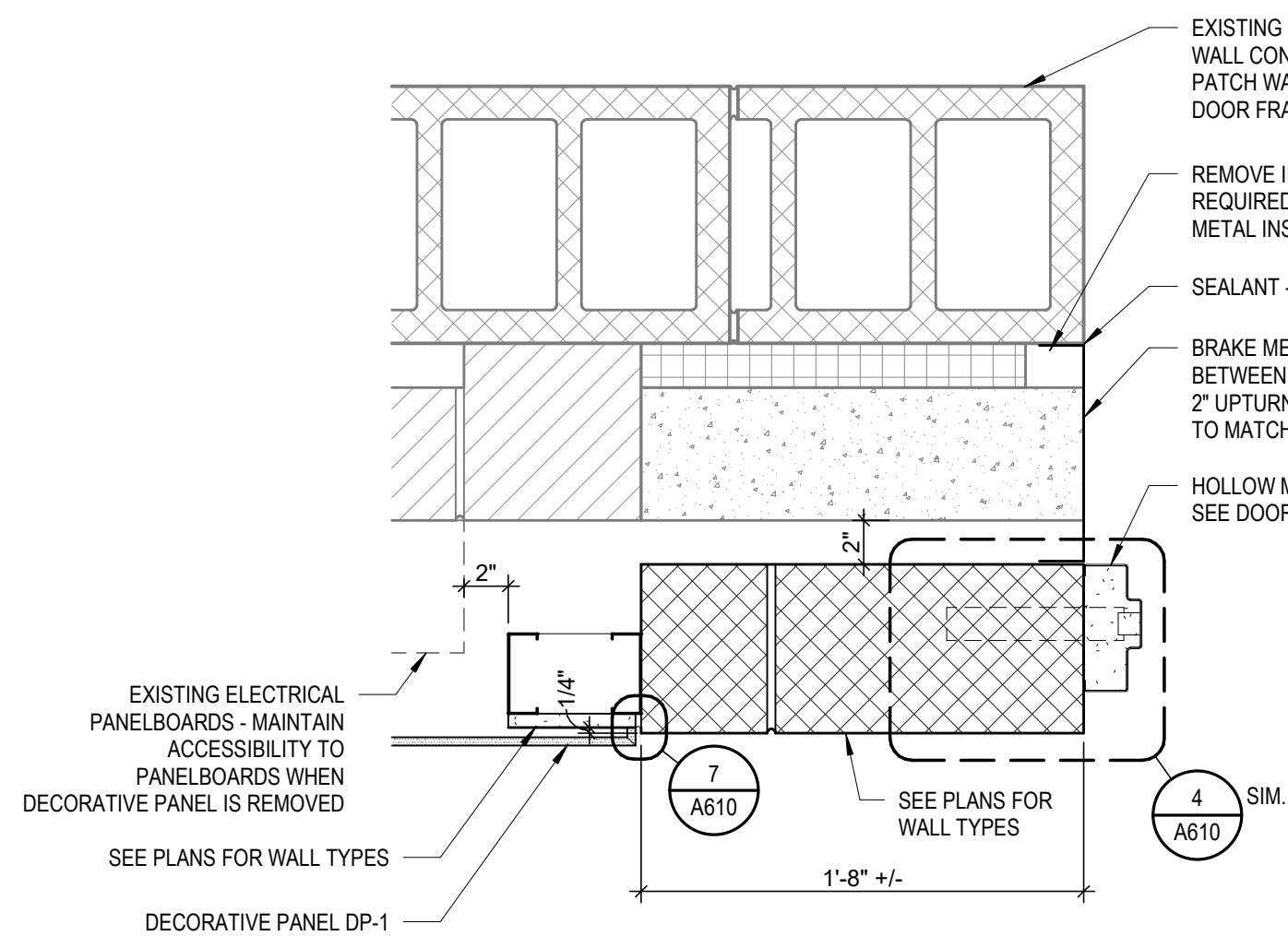
6 DOOR 105D-3 HEAD
SCALE: 1 1/2" = 1'-0"



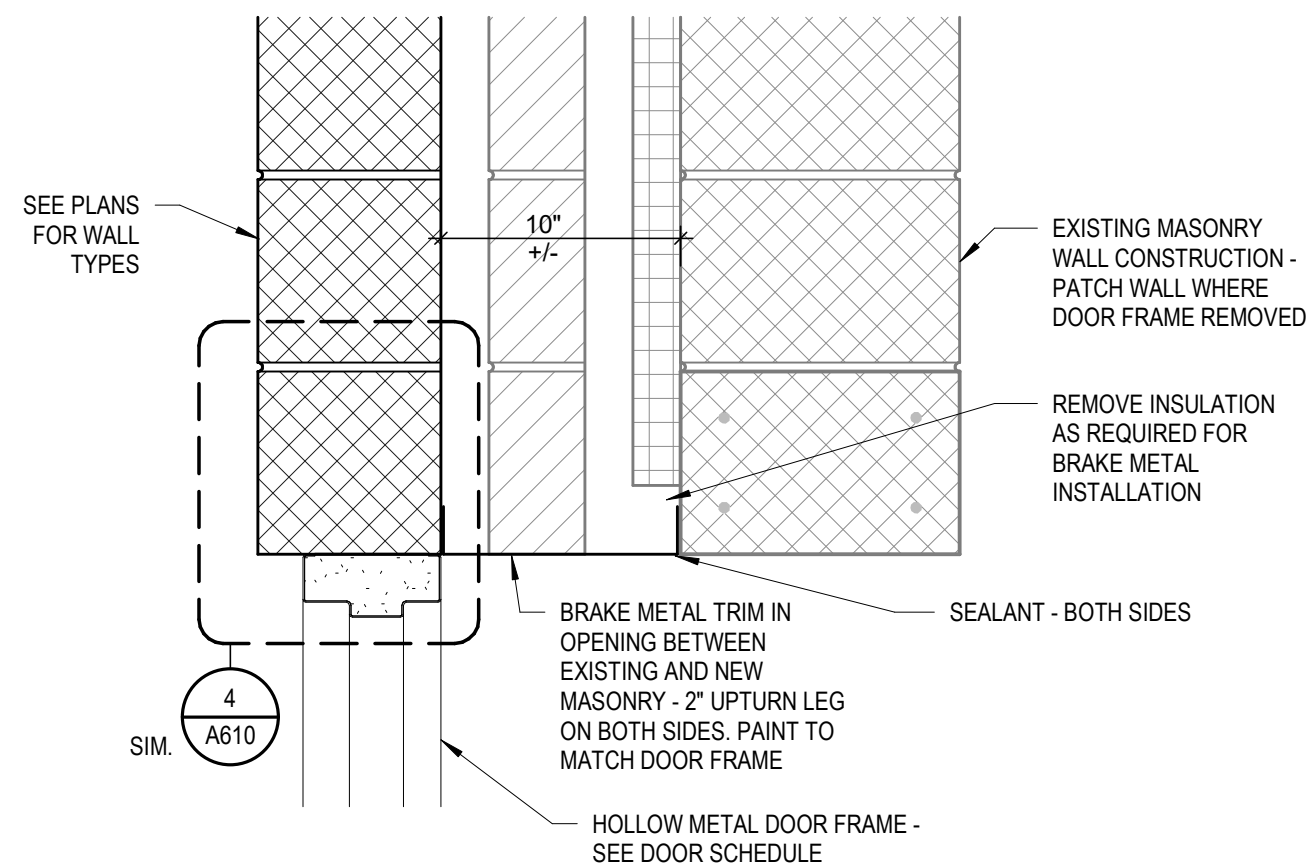
7 DOOR 105E-1 JAMB
SCALE: 1 1/2" = 1'-0"



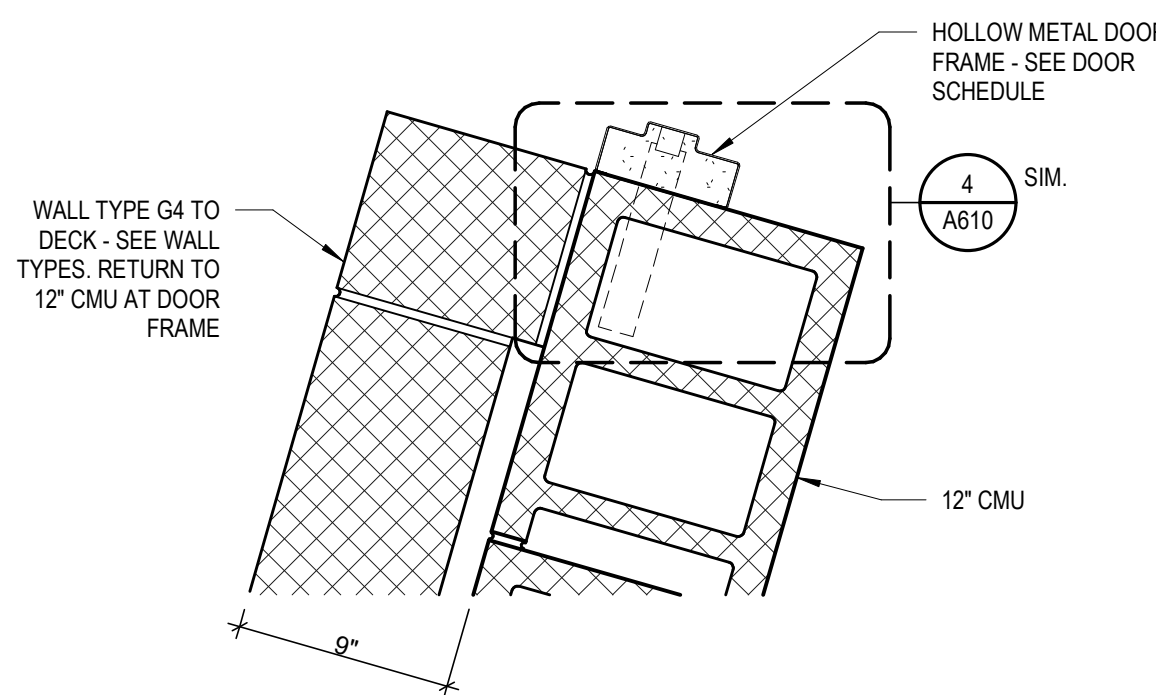
8 DOOR 105E-1 HEAD
SCALE: 1 1/2" = 1'-0"



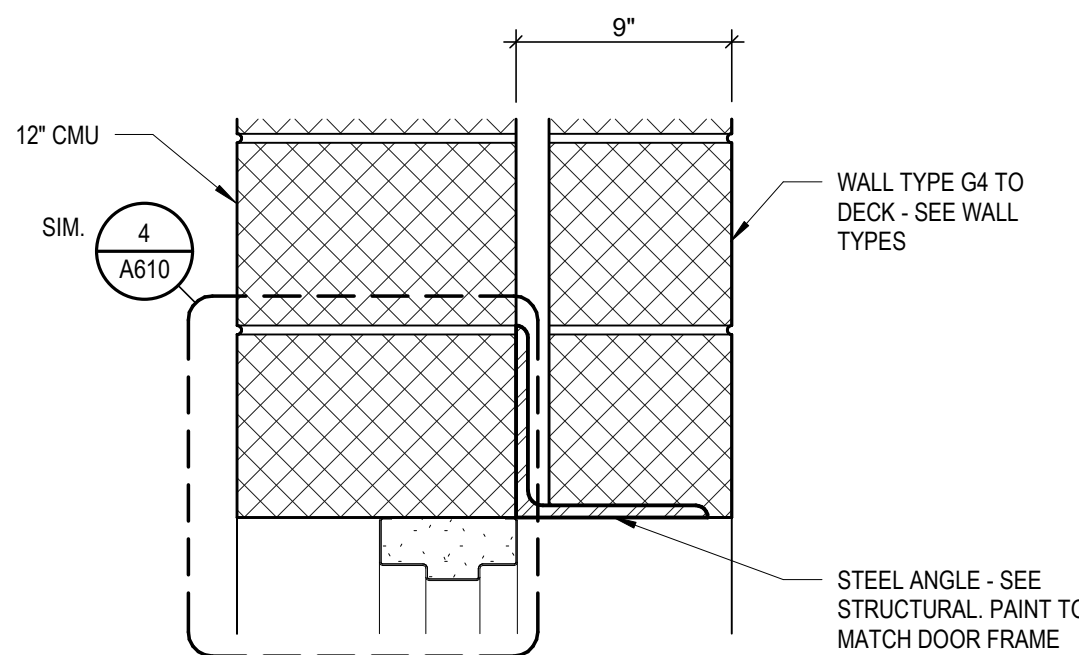
1 105-1 & 105-2 JAMB
SCALE: 1 1/2" = 1'-0"



2 105-1 & 105-2 HEAD
SCALE: 1 1/2" = 1'-0"



3 105D-1 & 105D-2 JAMB
SCALE: 1 1/2" = 1'-0"



4 105D-1 & 105D-2 HEAD
SCALE: 1 1/2" = 1'-0"

1625 NORTHPORT DRIVE
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CITY OF MADISON PARKS DIVISION
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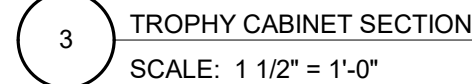
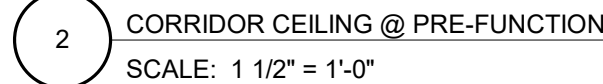
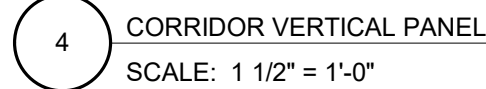
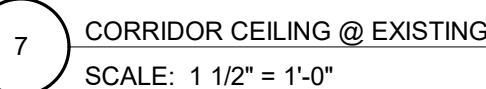
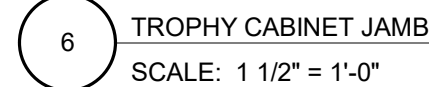
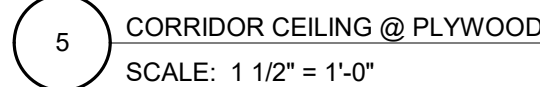
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WARNER PARK
COMMUNITY RECREATION
CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704
CITY OF MADISON PARKS DIVISION
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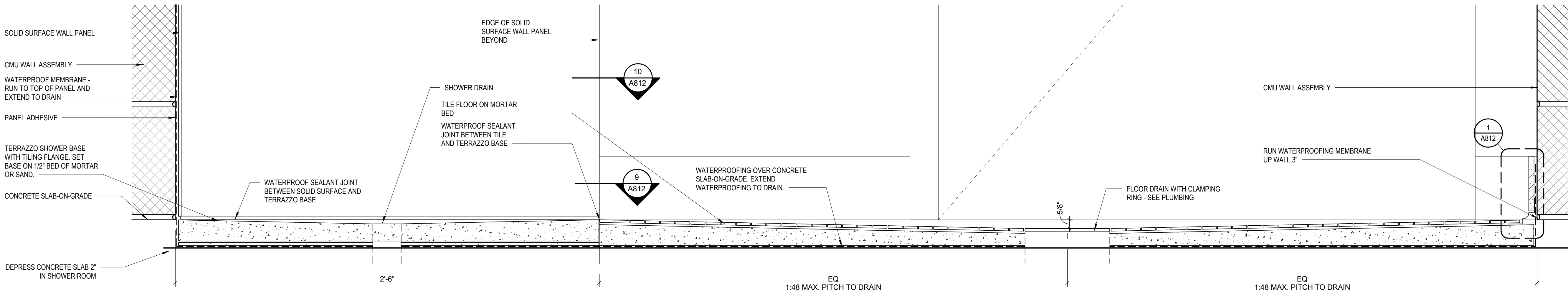
NO.	DESCRIPTION	DATE
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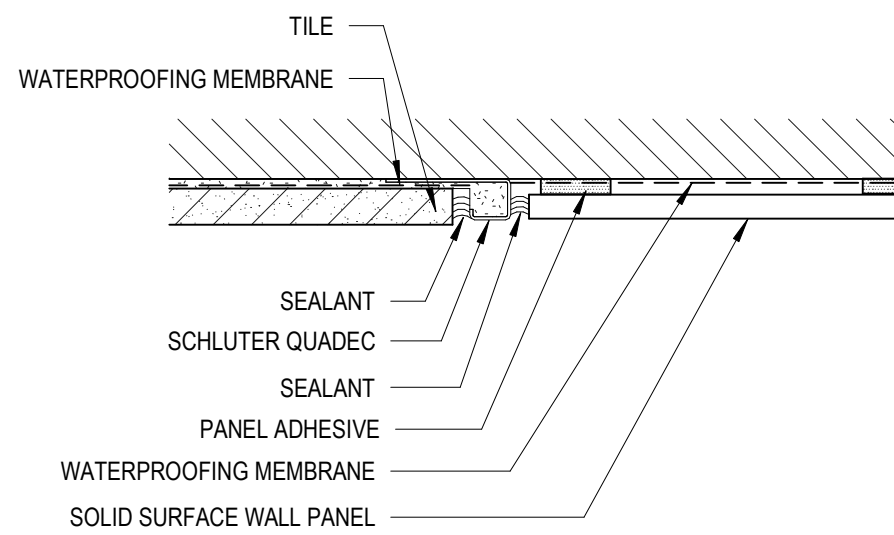
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INTERIOR DETAILS

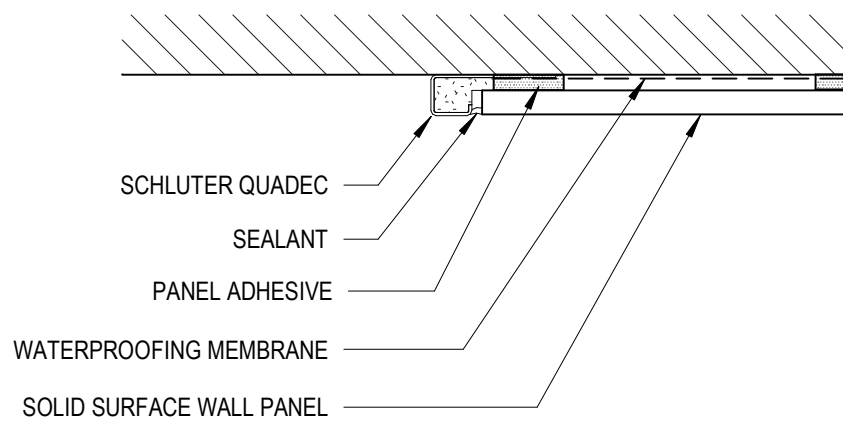
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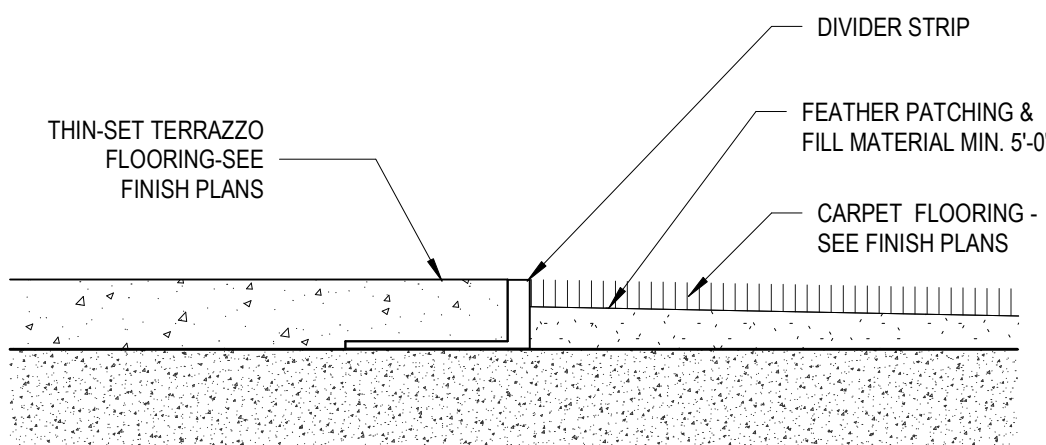
13 DEPRESSED SLAB WATERPROOFING DETAIL
SCALE: 3" = 1'-0"



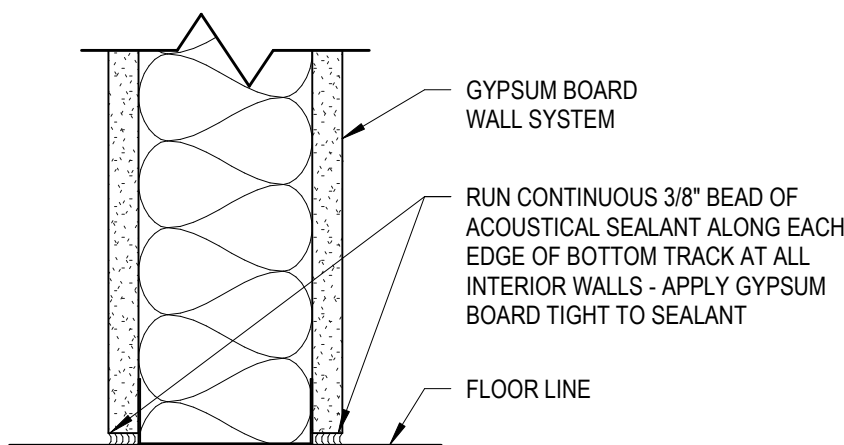
9 TILE / SS DETAIL
SCALE: 6" = 1'-0"



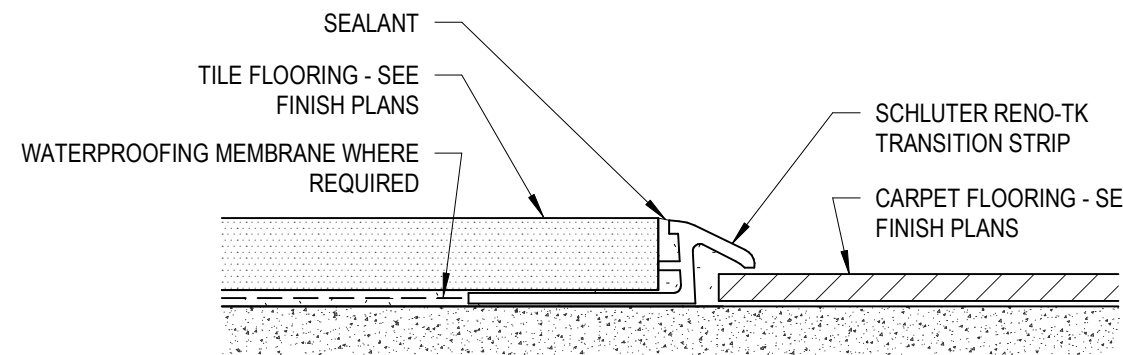
10 SS TRANSITION DETAIL
SCALE: 6" = 1'-0"



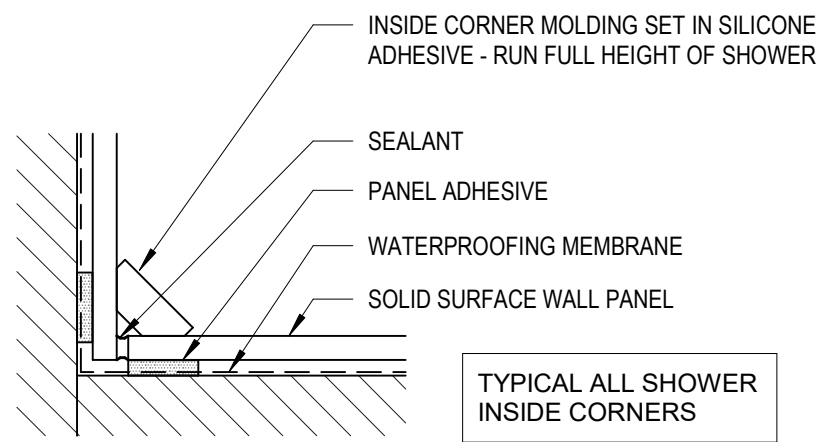
11 TERRAZZO TO CARPET TRANSITION
SCALE: 12" = 1'-0"



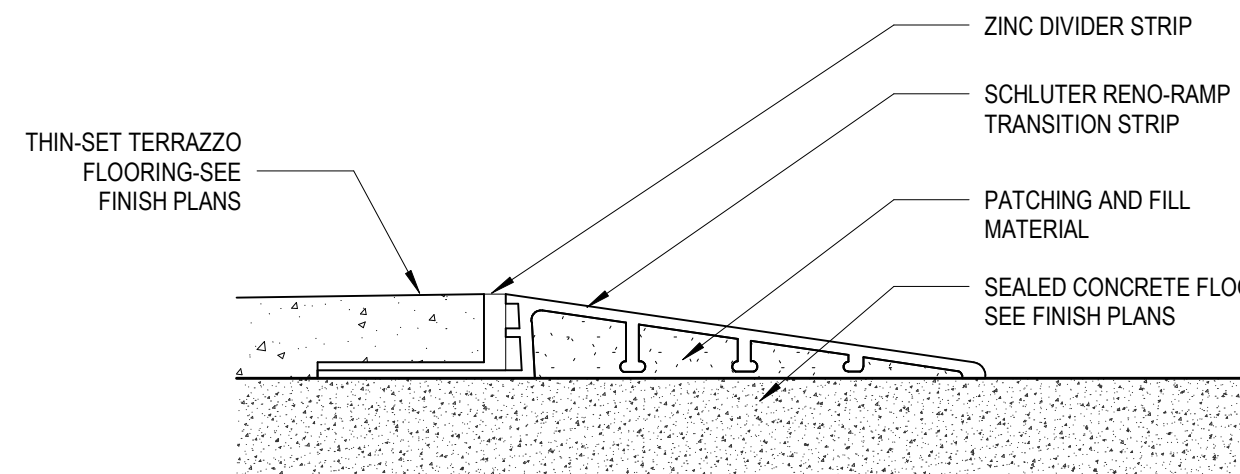
12 SOUND CONTROL AT STUD WALLS
SCALE: 3" = 1'-0"



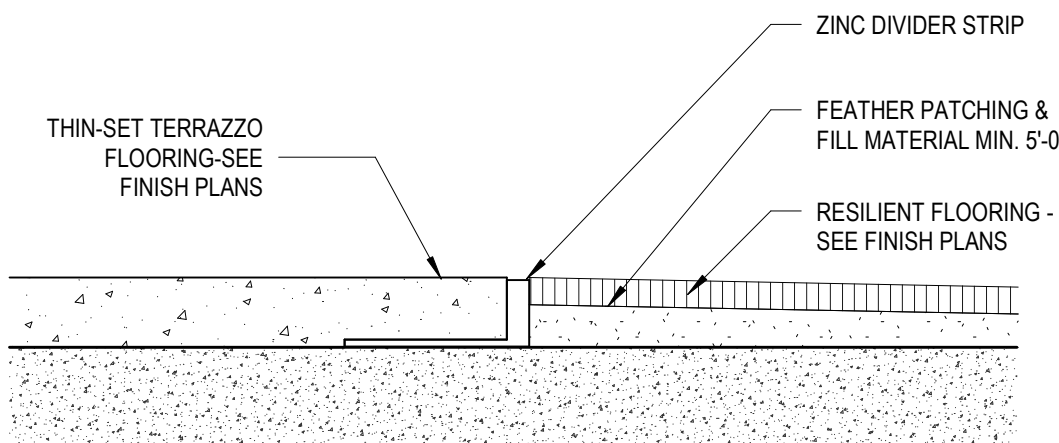
5 TILE TO CARPET FLOORING TRANSITION
SCALE: 12" = 1'-0"



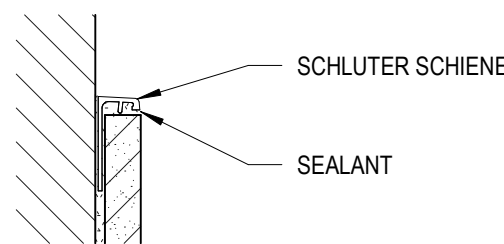
6 SHOWER CORNER DETAIL
SCALE: 6" = 1'-0"



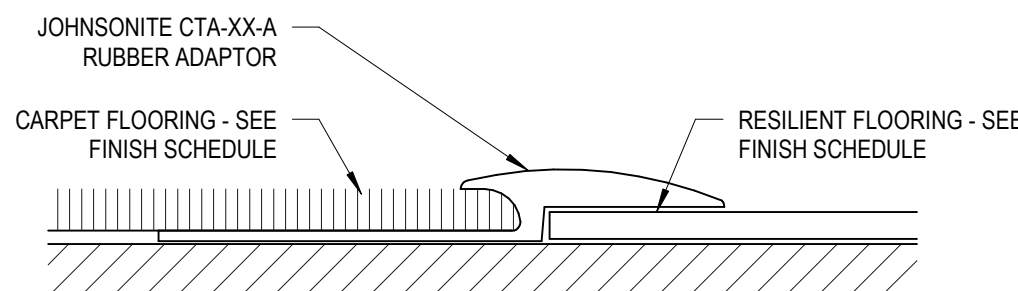
7 TERRAZZO TO CONCRETE TRANSITION
SCALE: 12" = 1'-0"



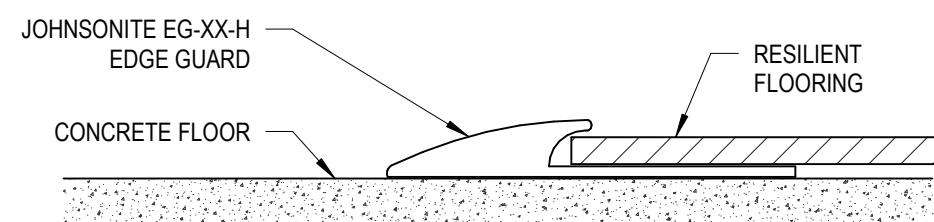
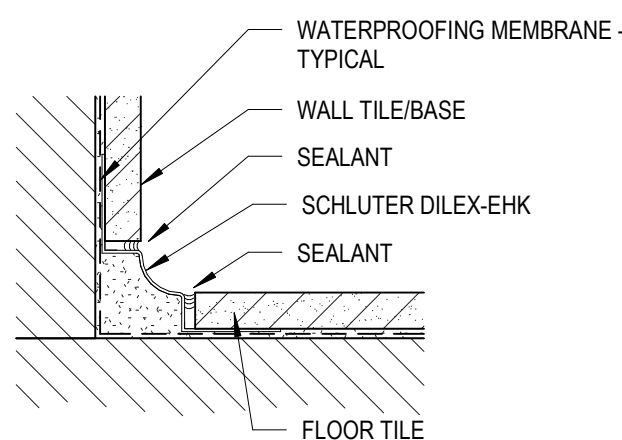
8 TERRAZZO TO RESILIENT TRANSITION
SCALE: 12" = 1'-0"



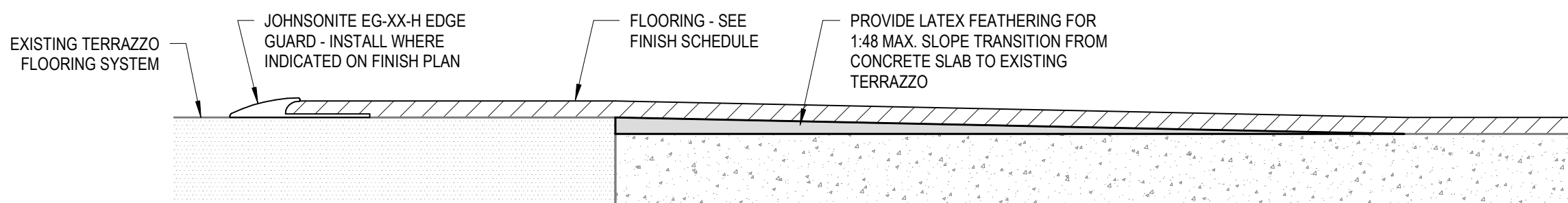
1 TILE BASE DETAIL
SCALE: 6" = 1'-0"



4 CARPET TO RESILIENT FLOORING
SCALE: 12" = 1'-0"



2 RESILIENT TO CONCRETE FLOORING
SCALE: 12" = 1'-0"



3 FLOORING OVER EXISTING TERRAZZO
SCALE: 6" = 1'-0"

STRUCTURAL DESIGN CRITERIA

1. THESE NOTES SUPPLEMENT THE SPECIFICATIONS. PROJECT SPECIFICATIONS SHALL BE REFERRED TO FOR CLARIFICATIONS AND ADDITIONAL INFORMATION. IN CASE OF CONFLICT BETWEEN PROJECT SPECIFICATIONS AND THESE NOTES, THESE NOTES SHALL GOVERN.

2. GOVERNING BUILDING CODE: 2015 IBC AS AMENDED BY THE STATE OF WISCONSIN.

3. DESIGN LOADS

LIVE LOAD

TYPICAL SLAB ON GRADE -----100 psf

MEZZANINE -----100 psf

ROOF

LIVE LOAD -----30 psf+DRIFTING

SNOW

SUPERIMPOSED DEAD LOAD -----10 psf

TOP CHORD -----10 psf

BOTTOM CHORD -----10 psf

SNOW LOADS

GROUND SNOW (Pg) -----30 psf

SNOW LOAD IMPORTANCE FACTOR (I_s) -----1.0

SNOW LOAD EXPOSURE FACTOR (C_e) -----1.0

ROOF THERMAL LOAD FACTOR (C_t) AT BUILDING -----1.1

BASE ROOF SNOW LOAD AT BUILDING -----21 psf

WIND LOADS

BASIC WIND SPEED -----107 mph

BUILDING OCCUPANCY CATEGORY -----II

WIND LOAD IMPORTANCE FACTOR (I_w) -----1.0

WIND EXPOSURE CATEGORY -----C

INTERNAL PRESSURE COEFFICIENT -----±0.18

MAIN WIND FORCE - RESISTING SYSTEM:

MWFRS SELECTED EDGE STRIP DISTANCE, (2A) -----11.0 ft

CALCULATED HORIZONTAL LOADS:

END ZONE

INTERIOR ZONE

WALL

ROOF

WALL

ROOF

TRANSVERSE CASE #1: 24.0 psf 16.5 psf 19.2 psf 13.2 psf

TRANSVERSE CASE #2: 24.0 psf 16.5 psf 19.2 psf 13.2 psf

LONGITUDINAL: 24.0 psf 16.5 psf 19.2 psf 13.2 psf

CALCULATED VERTICAL LOADS:

END ZONE

INTERIOR ZONE

WINDWARD

LEEWARD

WINDWARD

LEEWARD

TRANSVERSE CASE #1: 1.8 psf -14.7 psf 0.7 psf -12.5 psf

TRANSVERSE CASE #2: 9.3 psf -7.2 psf 8.0 psf -5.2 psf

LONGITUDINAL: -25.7 psf -14.7 psf -17.8 psf -11.3 psf

COMPONENTS AND CLADDING:

(SEE ASCE/SEI 7-SECTION 6 FOR ZONE DEFINITIONS AND DIAGRAMS)

COMPONENT AND CLADDING SELECTED EDGE STRIP DISTANCE, (A) -----5.5 ft

TRIBUTARY WIND LOAD AREAS

10 ft²

50 ft²

100 ft²

ROOF (MONOSLOPE):

ZONE 1 (NEGATIVE) 19.7 psf 17.3 psf 16.3 psf

ZONE 2 (NEGATIVE) 23.0 psf 20.7 psf 19.7 psf

ZONE 3 (NEGATIVE) 23.0 psf 20.7 psf 19.7 psf

WALLS:

ZONE 4 (NEGATIVE) 21.3 psf 19.3 psf 18.4 psf

ZONE 5 (NEGATIVE) 26.3 psf 22.3 psf 20.4 psf

ZONE 4 & 5 (NEGATIVE) 19.7 psf 17.6 psf 16.7 psf

SEISMIC LOADS

SEISMIC USE GROUP / OCCUPANCY CATEGORY -----II

SEISMIC IMPORTANCE FACTOR (I_e) -----1.0

SEISMIC SITE CLASS -----C

SPECTRAL RESPONSE COEFFICIENT (S_{ds}) -----0.048

SPECTRAL RESPONSE COEFFICIENT (S_{d1}) -----0.032

SEISMIC DESIGN CATEGORY -----A

BASIC SEISMIC FORCE RESISTING SYSTEM:

BEARING WALL SYSTEM

LIGHT FRAMED WALL SHEATHED WITH WOOD STRUCTURAL PANELS RATED

FOR SHEAR RESISTANCE:

R = 6.5 Ω_o = 3.0 Cd = 4.0

ANALYSIS PROCEDURE:

EQUIVALENT LATERAL FORCE PROCEDURE

4. FOUNDATIONS AND EARTHWORK

ALLOWABLE SOIL BEARING PRESSURE FOR FOOTINGS -----4,000 psf

5. CONCRETE

MINIMUM 28 DAY COMPRESSIVE STRENGTH (f_c)

FOOTINGS -----4,000 psi

PIERS, WALLS -----4,000 psi

SLAB-ON-GRADE (INTERIOR) -----3,500 psi

SLAB-ON-GRADE (EXTERIOR) -----4,500 psi

COVER ON MILD STEEL REINFORCEMENT

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH -----3"

CONCRETE EXPOSED TO EARTH OR WEATHER

#5 BARS AND SMALLER -----1 1/2"

#6 BARS AND LARGER -----2"

CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND -----1"

CONCRETE REINFORCEMENT YIELD STRENGTH (F_y)

ALL DEFORMED MILD STEEL -----60,000 psi

WELDED WIRE FABRIC -----65,000 psi

6. CONCRETE MASONRY

DESIGN STRESSES

MASONRY (NORMAL WEIGHT) MEETING ASTM C90 -----f_m = 2,250 psi

GROUT: MIN COMPRESSIVE STRENGTH AT 28 DAYS MEETING ASTM C476 -----3,000 psi

MINIMUM BLOCK COMPRESSIVE STRENGTH -----2,600 psi

7. STRUCTURAL STEEL

STRUCTURAL STEEL YIELD STRENGTH (F_y)

TUBES -----46,000 psi

WF BEAMS -----50,000 psi

WF COLUMNS -----50,000 psi

BOLTS FOR STANDARD FRAME CONNECTIONS -----3/4" DIAMETER A325

BOLTS FOR SINGLE SHEAR TAB CONNECTIONS -----3/4" DIAMETER A325

ANCHOR RODS -----F1554

WELDING ELECTRODES -----E70

8. MISCELLANEOUS

VERIFY OPENINGS THROUGH FLOOR AND WALLS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL REQUIREMENTS. CHANGES IN SIZE, LOCATION OR NUMBER OF OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER. NOT ALL OPENINGS ARE SHOWN ON THE STRUCTURAL DRAWINGS.

GENERAL NOTES APPLY TO ALL SHEETS

1. CONTRACTOR TO PROVIDE DRAFT STOPPING IN ATTIC. MAXIMUM AREA OF SUBDIVIDE ATTIC AREA IS 3000 SF. CONTRACTOR TO COORDINATE LOCATION OF DRAFT STOPPING WITH ARCHITECT AND TRUSS SHOP DRAWINGS PRIOR TO START OF CONSTRUCTION. PROVIDE AN ATTIC ACCESS PANEL INTO EACH ATTIC COMPARTMENT. MINIMUM OPENING SIZE OF 20" x 30" COORDINATE LOCATION WITH ARCHITECT. DRAFT STOPPING TO EXTEND TO FASCIA AT OVERHANGS.
2. SECURE TRUSSES AT EACH BEARING WITH SIMPSON H2.5A MIN.
3. CONTRACTOR TO SUBMIT TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.

GENERAL

1. STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING SUCH REQUIREMENTS INTO THE SHOP DRAWINGS AND WORK.
2. NO OPENING SHALL BE MADE IN ANY STRUCTURAL BEAM, COLUMN, SUPPORT FLOOR, LOAD BEARING WALL, FOOTING, OR FOUNDATION WALL WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER. OPENINGS IN NON-LOAD BEARING WALLS REQUIRE THE ARCHITECT'S APPROVAL.
3. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON NEW STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
4. THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES. THE STRUCTURAL ENGINEER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION.
5. FIREPROOFING METHODS AND MATERIALS FOR STRUCTURAL DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR RATING REQUIREMENTS, FIREPROOFING METHODS AND MATERIALS.
6. ALL SECTIONS, DETAIL AND NOTES SHOWN ON THE STRUCTURAL DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE NOTED.
7. WHEN CONFLICTS ARE NOTED ON THE DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE A/E FOR RESOLUTION PRIOR TO FABRICATION OR INSTALLATION.

FOUNDATION NOTES

1. GEOTECHNICAL INFORMATION TAKEN FROM: GEOTECHNICAL EXPLORATION REPORT C23051-6.
2. THE OWNER SHALL RETAIN A SOILS ENGINEERING FIRM TO MONITOR PROPER SUBGRADE PREPARATIONS AND TO OVERSEE THE TESTING AND COMPACTION OF COMPACTED FILL MATERIAL.
3. CONTRACTOR SHALL LOCATE EXISTING UNDERGROUND UTILITIES BEFORE FOUNDATION EXCAVATION IF UNDERGROUND UTILITY CONFLICTS ARE DISCOVERED BEFORE OR ENCOUNTERED DURING EXCAVATION, NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY.
4. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ANY EXISTING FOUNDATIONS.
5. BEFORE PLACING FOOTINGS, FOUNDATIONS, GRADE BEAMS, OR SLAB-ON-GRADE, THE SUB-GRADE SHALL BE PREPARED AND INSPECTED AS REQUIRED BY THE SPECIFICATIONS AND THE DRAWINGS.
6. REINFORCE ALL FOUNDATION WALLS AND FOOTINGS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
7. CONTROL JOINTS IN THE CAST-IN-PLACE CONCRETE FOUNDATION WALLS SHALL BE PLACED AT NOT TO EXCEED 20' OC OR AS LOCATED ON THE DRAWINGS.
8. PERIMETER FOUNDATION WALL INSULATION IS NOT SHOWN ON THE FOUNDATION DETAILS. SEE ARCHITECTURAL DRAWINGS AND THE SPECIFICATIONS FOR INSULATION REQUIREMENTS.
9. SEE SPECIFICATIONS FOR FREE DRAINING BACKFILL BENEATH ALL CONCRETE WALKS AND SLABS ADJACENT TO STRUCTURE.
10. CONTRACTOR NOTE: THE BASE OF ALL EXCAVATIONS SHALL BE KEPT FREE OF WATER AND LOOSE SOIL PRIOR TO PLACING CONCRETE. CARE SHOULD BE TAKEN DURING EXCAVATION AND CONSTRUCTION TO MINIMIZE DISTURBANCE OF THE BEARING SOILS. THE CONCRETE SHOULD BE PLACED AS SOON AS POSSIBLE AFTER EXCAVATION TO PREVENT EXCESSIVE DRYING OR WETTING OF THE SOIL.

MASONRY NOTES

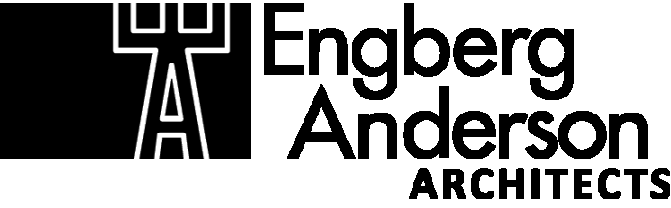
1. ALL MASONRY WALLS ARE TO HAVE HORIZONTAL REINFORCEMENT WHICH DOES NOT EXCEED 16 INCHES ON CENTER VERTICALLY. SEE SPECIFICATIONS FOR INFORMATION RELATING TO CONCRETE BLOCK, BRICK, AND WALL REINFORCING.
2. ALL VERTICAL REINFORCING STEEL IN MASONRY WALLS ARE TO COMPLY WITH ASTM A615, GRADE 60. LAPS SHALL BE 48 BAR DIAMETERS (12" MINIMUM).
3. PROVIDE SPLICE BARS FOR ALL BOND BEAM REINFORCING AT ALL CORNERS. SPLICE BAR TO BE THE SAME SIZE AS BARS IN THE BOND BEAM. LAPS SHALL BE 50 BAR DIAMETER.
4. WHERE MASONRY IS APPLIED ADJACENT TO STEEL MEMBERS (BEAMS AND COLUMNS) PROVIDE ANCHORING DEVICES PER SPECIFICATIONS.
5. REFER TO ARCHITECTURAL PLANS FOR ROUGH OPENING LOCATIONS, SIZES, AND ELEVATIONS.
6. USE SIMPSON TITEN HD OR APPROVED EQUAL TYPE ANCHORS IN CMU WALL PARTITIONS.
7. ALL NON-STRUCTURAL CMU WALLS SHALL BE REINFORCED WITH A #3 VERTICAL BAR AT 48" OC WITH THAT CMU CORE GROUTED AND HORIZONTAL JOINT REINFORCEMENT AT 16" OC THE BOTTOM TWO COURSES SHALL BE GROUTED SOLID. PROVIDE CONTINUOUS BOND BEAM AT TOP OF WALL WITH 2 #4's CONTINUOUS GROUT BOND BEAM SOLID. PROVIDE #3 DOWEL AT 48" OC MATCH VERTICAL BAR, LAP 50 BAR DIAMETERS. PROVIDE INTEL BLOCK AS BOND BEAM WITH (2) #5 x CONT, AND 8" BEARING EACH END. TYPICAL UNLESS NOTED OTHERWISE.
8. CONSTRUCTION BRACING FOR MASONRY WALLS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS LOCATED. MASONRY SUBMITTALS SHALL CONTAIN A LETTER SEALED BY THE ENGINEER AND SHALL BE ISSUED TO THE OWNER AFTER SUBMITTAL REVIEW AND PRIOR TO STARTING MASONRY CONSTRUCTION.

COLD FORMED TRUSS NOTES

1. TRUSS FABRICATOR SHALL DESIGN TRUSSES FOR LOADS SPECIFIED ON PLANS IN CONFORMANCE WITH "QUALITY CONTROL MANUAL" BY TPI. REFER TO THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEAD LOADS RESULTING FROM DORMERS AND OTHER MISCELLANEOUS FRAMING. ALL TRUSSES SHALL BE DESIGNED FOR A MINIMUM OF 30 PSF LIVE LOAD PLUS 10 psf DEAD LOAD.
2. LIVE LOAD IS ON A HORIZONTAL PROJECTION OTHER LIVE LOADS SHOWN ON THE DRAWINGS ARE IN ADDITION TO THESE DESIGNATED LOADS.
3. CHECK VERTICALLY PROJECTED ELEMENTS FOR DESIGN WIND LOAD.
4. DESIGN TRUSSES TO RESIST A NET UPLIFT OF 10 PSF.
5. SUBMIT SHOP DRAWINGS AND CALCULATIONS PRIOR TO FABRICATION.
6. CONFORM TO TPI SPECIFICATIONS.
7. FLOOR TRUSS LL DEFLECTION SHALL NOT EXCEED L/480.
8. ROOF TRUSS LL DEFLECTION SHALL NOT EXCEED L/360.
9. PERMANENT BRACING NOT SHOWN ON PLANS, WHICH IS REQUIRED FOR STRENGTH AND STABILITY OF TRUSS MEMBERS, SHALL BE DESIGNED AND PROVIDED BY TRUSS SUPPLIER.
10. ALL TRUSS TOP CHORDS SHALL BE CONTINUOUSLY BRACED BY THE (ROOF/FLOOR) DECKING. ALL ROOF TRUSS WEB MEMBERS SHALL BE BRACED AT 4'-0" OC UNLESS CALCULATIONS SHOW OTHERWISE.
11. TEMPORARY BRACING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PROVIDE IN ACCORDANCE WITH TPI GUIDELINES.
12. PROVIDE 24" WIDE VIERENDEEL PANEL AT CENTER OF EACH PARALLEL CHORD TRUSS.

STRUCTURAL STEEL NOTES

1. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM WITH THE AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION), "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.
2. ALL STEEL DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN", LATEST EDITION.
3. ALL WELDING SHALL BE BY WELDERS HOLDING CURRENT VALID AWS CERTIFICATES IN THE TYPE OF WELD REQUIRED.
4. SHOP CONNECTIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE BOLTED OR WELDED. FIELD CONNECTIONS SHALL BE BOLTED UNLESS SPECIFICALLY DETAILED OTHERWISE.
5. DESIGN IN ACCORDANCE WITH GUIDE DETAILS AND REACTIONS.
6. USE A325N BOLTS UNLESS NOTED OTHERWISE.
7. OVERSIZED OR SLOTTED HOLES SHALL NOT BE USED FOR ANY CONNECTIONS UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS OR APPROVED IN WRITING BY THE ENGINEER.
8. ALL BEAM COPES MUST BE MADE TO A RADIUS (1" MINIMUM). ALL BUTT AND FULL PENETRATION WELDS SHALL BE MADE USING RUN OFF TABS WHICH SHALL BE TRIMMED FLUSH AND GROUND SMOOTH AFTER WELD IS COMPLETED.
9. ALL WELDS INDICATED SHALL MEET THE MINIMUM WELD SIZE SPECIFIED BY THE CURRENT AISC MANUAL OF STEEL DESIGN. (SINGLE PASS AS REQUIRED).
10. CUTS, HOLES, COPING, ETC. REQUIRED FOR WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND MADE IN THE SHOP. CUTS OR BURNING OF HOLES IN STRUCTURAL STEEL MEMBERS IN THE FIELD WILL NOT BE PERMITTED.
11. PROVIDE ANY NECESSARY TEMPORARY BRACING OR GUYS TO PROVIDE LATERAL SUPPORT OF THE BUILDING UNTIL PERMANENT FRAME IS COMPLETELY INSTALLED.
12. INSTALL EXPANSION BOLTS IN ACCORDANCE WITH THE ICBO REPORT RECOMMENDATIONS.
13. ALL ELEVATOR GUIDE BEAMS SHALL BE S8x18.4 UNLESS NOTED OTHERWISE. SLOPE TO MATCH BEAM SLOPE.
14. STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE CONNECTIONS ARE FINALLY BOLTED OR WELDED.



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WARNER PARK COMMUNITY RECREATION CENTER EXPANSION

1625 NORTHPORT DRIVE
MADISON, WI 53704

CITY OF MADISON PARKS DIVISION
330 EAST LAKESIDE STREET
MADISON, WI 53715

PROJECT NUMBER 223471.00

ISSUED FOR:

BID SET 5/16/2024

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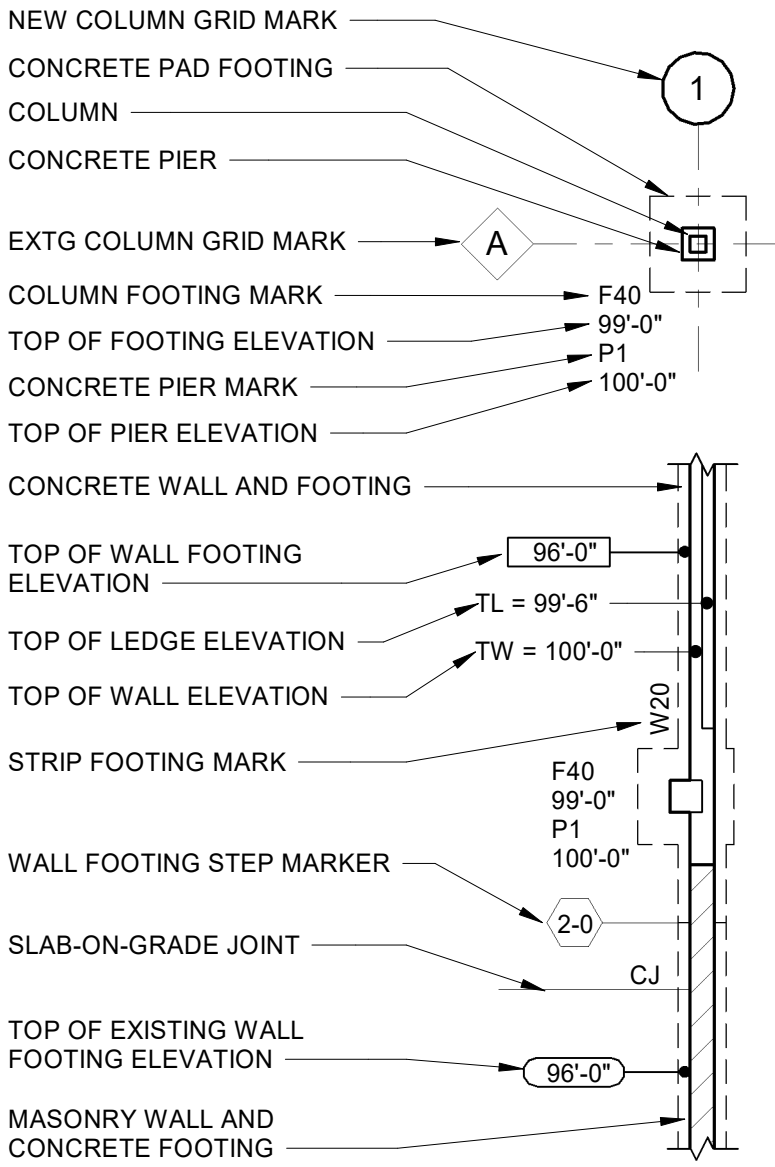
STRUCTURAL NOTES

S001

ABBREVIATION LIST

AB	ANCHOR BOLT (ROD)
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ARCH	ARCHITECTURAL
BLDG	BUILDING
BRG	BEARING
BP(##)	BASE PLATE CALL-OUT
CF	COLD-FORMED
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLR	CLEAR (DISTANCE)
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DBA	DEFORMED BAR ANCHOR
DEMO	DEMOLITION / DEMOLISH
DIA	DIAMETER
DWG	DRAWING
EOD	EDGE OF DECK
EOS	EDGE OF SLAB
EF	EACH FACE
EJ	EXPANSION JOINT
ELEV	ELEVATION
EQ	EQUAL
EW	EACH WAY
EWEF	EACH WAY EACH FACE
EXP	EXPANSION
EXT	EXTERIOR
EXTG	EXISTING
FD	FLOOR DRAIN
FLR	FLOOR
FV	FIELD VERIFY
F(##)	FOOTING CALL-OUT
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GLULAM	GLUE-LAMINATED BEAM(S)
HK	HOOK
HORIZ	HORIZONTAL
HP	HIGH POINT
HWS	HEADED WELDED STUD(S)
IF	INSIDE FACE
INT	INTERIOR
JBE	JOIST BEARING ELEVATION
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LSL	LAMINATED STRAND LUMBER
LTVT	LIGHTWEIGHT
LVL	LAMINATED VENEER LUMBER
LW	LONG WAY
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
NA	NOT APPLICABLE
NTS	NOT TO SCALE
OC	ON CENTER
OF	OUTSIDE FACE
OPNG	OPENING
OPP	OPPOSITE
PC	PRECAST / PRESTRESSED
PCI	POUNDS PER CUBIC INCH
PDF	POUNDS PER CUBIC FOOT
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
PROJ	PROJECTION
PSF	POUNDS PER CUBIC FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRE (POST) -TENSIONED
P(##)	PIER CALL-OUT
RD	ROOF DRAIN
REINF	REINFORC(ED)(ING)
RTU	ROOF TOP UNIT
SIM	SIMILAR
SOG	SLAB-ON-GRADE
SPA	SPAC(ES)(ED)(ING)
SPEC	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
SW	SHORT WAY
TL	TOP OF LEDGE
TP	TOP OF PIER
TW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
WP	WORKING POINT
WWF	WELDED WIRE FABRIC

FOUNDATION LEGEND

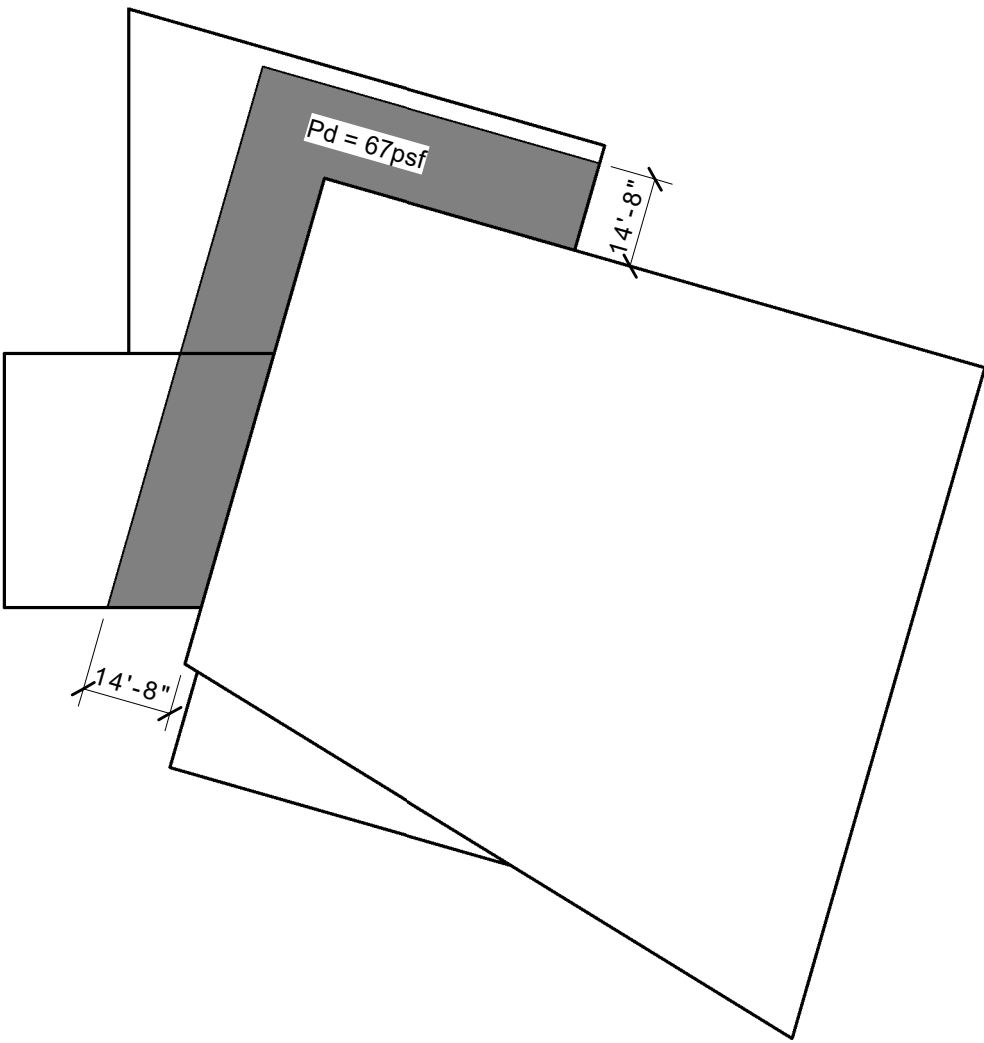


LINTEL SCHEDULE

LENGTH	SIZE AND REINFORCING	NOTE/ REMARKS
0'-4"	8" W x 8" H BOND BM W/ (2) #5 BOT	SEE ARCH FOR LOCATIONS
4'-8"	8" W x 16" H BOND BM W/ (2) #5 BOT	SEE ARCH FOR LOCATIONS

NOTES:

- AT NEW WALLS, REINFORCE AT BEARING WITH (1) #5 VERT FULL HEIGHT OF WALL FROM FLOOR TO FLOOR OR FLOOR TO ROOF.
- AT EXISTING WALLS, BEAR LINTEL ON MIN (2) COURSES GROUTED CMU.
- AT EXTERIOR OPENINGS, PROVIDE GALV BENT PL5/16"x7 1/2"x7 1/2" x CONT TO OPENING CORNERS.
- 8" MIN BEARING AT ENDS.



DRIFT LOAD KEY PLAN

SCALE: 12" = 1'-0"

WALL FOOTING SCHEDULE

MARK	CONTINUOUS FOOTING DIMENSIONS		FOOTING REINFORCEMENT	REMARKS
	WIDTH	THICKNESS		
W24	2' - 4"	1' - 0"	(3) #6; B. CONT	
W28	2' - 8"	1' - 0"	(3) #6; B. CONT	
W30	3' - 0"	1' - 0"	(3) #6; B. CONT	
W90	9' - 0"	1' - 8"	(7) @ 12" T&B, EW	

MASONRY WALL REINFORCEMENT SCHEDULE

MARK	WALL TYPE	REINFORCEMENT		NOTES
		VERTICAL	HORIZONTAL	
A	12" CMU	#6 AT 16" OC	HJR AT 16" OC	BOND BEAM WITH (1) #5 AT 40" OC AND AT BOTTOM OF WALL
B	12" CMU	#8 AT 8" OC	HJR AT 16" OC	VERTICAL REINFORCING TO BE AT EXTERIOR FACE OF CMU
C	8" CMU	#6 AT 16" OC	HJR AT 16" OC	BOND BEAM WITH (1) #5 AT 40" OC AND AT BOTTOM OF WALL

NOTES:

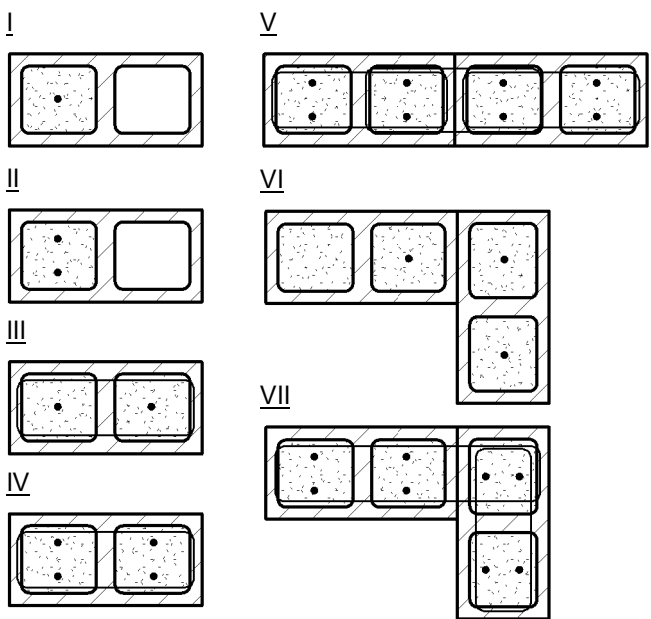
- SEE ARCHITECTURAL WALL TYPES FOR ADDITIONAL REQUIREMENTS.
- REINFORCEMENT IS TO BE LOCATED IN CENTER OF WALL UNO.
- PROVIDE CONTINUOUS BOND BEAM WITH (2) #5 AT ALL BEARING ELEVATIONS AND OVER WINDOWS DOORS AND OTHER OPENINGS UNO.
- PROVIDE HORIZONTAL REINFORCEMENT INTO INTERSECTING WALLS AT 16" OC VERTICAL. EXTENT 30" EACH DIRECTION WITH PREFABRICATED "T" AND "L" SECTION TYP.
- SEE GENERAL MASONRY NOTES ON SHEET S001 FOR NON LOAD BEARING WALL REINFORCEMENT REQUIREMENTS.
- PROVIDE DOWELS TO MATCH VERTICAL REINFORCEMENT. EMBED DOWELS 30" INTO FOUNDATION WALL AND LAP 30" WITH OR MAKE CONTINUOUS WITH VERTICAL STEEL.

MASONRY PIER SCHEDULE

MARK	SIZE (LENGTH)	TYPE	VERTICAL REINFORCING	CLOSED LOOP TIE	COMMENTS
MP1	16"	III	(6) #6	(2) SETS OF 1/4" AT 8"	
MP2	24"	IV	(8) #6	(2) SETS OF 1/4" AT 8"	

NOTES

- ALL REINFORCED CMU CORES ARE GROUTED SOLID.
- RUN HORIZONTAL JOINT REINFORCING CONT. THROUGH MASONRY PIERS.
- USE 1/4" (2) RODS AS CLOSED LOOP TIES.
- USE BOND BEAM CMU BLOCKS OR DROP TOP CMU BLOCK AT MASONRY PIERS WITH TIES.
- SIZE IS WALL WIDTH x LENGTH.



LOOSE STEEL LINTEL SCHEDULE

PROVIDE WHERE OTHER LINTELS ARE NOT SPECIFICALLY DETAILED

WALL THICK	CLEAR MASONRY OPENING WIDTH	SECTION
ALL	AT FIRE EXTINGUISHER CABINETS AND DRINKING FOUNTAINS	1/4" PLATE
4"	TO 5'-0"	ST3x6.25
4"	TO 7'-0"	PL 3/8 x 4 1/2 ON PL 3/8 x 3 1/2
4"	TO 9'-0"	PL 3/8"x7 1/2" ON PL 3/8"x3 1/2"
6"	TO 5'-0"	(2) L3 1/2x2 1/2x1/4 (LLV)
6"	TO 7'-0"	WT4x10.5
6"	TO 9'-0"	WT7x11
6"	TO 12'-0"	WT7x13 WITH PL 1/2"x2"
8"	TO 5'-0"	(2) L3 1/2x3 1/2x1/4
8"	TO 7'-0"	(2) L4x3 1/2x5/16 (LLV)
8"	TO 9'-0"	WT7x15
10"	TO 7'-0"	W8x10 WITH PL5/16"x9"
10"	TO 10'-0"	W8x15 WITH PL5/16"x9"
12"	TO 5'-0"	(3) L3 1/2x3 1/2x1/4
12"	TO 7'-0"	W8x10 WITH PL5/16"x11"
12"	TO 10'-0"	W8x15 WITH PL5/16"x11"

NOTES:

- PROVIDE MINIMUM 8" BEARING AT EACH END OF LINTEL.
- GROUT BLOCK CORES AND REINFORCE WITH (1) #5 VERT BELOW LINTEL BEARING.
- CENTER LINTELS IN WALL UNLESS OTHERWISE NOTED.
- BOTTOM PLATES UNDER WIDE FLANGE SHAPES SHALL BE EXTENDED FULL LENGTH OF LINTEL.
- WELD LINTEL COMPONENTS INTO SINGLE UNIT.
- NOT LINTELS ARE REQUIRED FOR 4" AND 6" NON-BEARING MASONRY WALLS WHERE GROUTED HOLLOW METAL FRAMES HAVE A HEADSPAN OF 4'-0" OR LESS.

BRICK LOOSE LINTEL SCHEDULE

MARK	SECTION	NOTE/ REMARKS
W ≤ 4'-0"	L4x4x5/16	.
6'-6" < L < 9'-0"	L6x4x3/8	.
9'-0" < L < 12'-0"	L7x4x1/2	.
12'-0" < L < 15'-0"	L8x4x3/4	.

NOTES:

- LINTELS TO BE SHOP PAINTED WITH ZINC RICK URETHANE. SEE SPECIFICATIONS.
- PROVIDE 4" MIN BEARING EACH END OF LINTEL UNDER 9'-0". 8" BEARING FOR LONGER LINTELS.
- SEE ARCH FOR CONTROL JOINT LOCATIONS AND FLASHING REQUIREMENTS.

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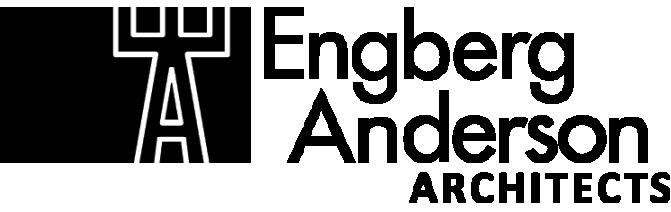
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STRUCTURAL
SCHEDULES

FOUNDATION PLAN NOTES:

- SEE S001 FOR DESIGN CRITERIA AND ADDITIONAL NOTES.
- TYPICAL WHERE SLAB ABUTS WALL, PROVIDE 1" RIGID INSULATION. SEE ARCHITECTURAL.
- AVOID SITUATIONS WHERE CONTROL JOINTS ARE DISCONTINUOUS ACROSS AN ADJACENT JOINT BUT WHERE ABSOLUTELY NECESSARY, PROVIDE (2) #4 x 5'-0" LONG BARS IN UNBROKEN SLAB AT THIS T-INTERSECTION WITH THE UNDERSTANDING THAT BARS WILL LIMIT CRACK WIDTH BUT NOT PREVENT IT.
- REFERENCE ARCHITECTURAL DRAWINGS FOR STOOP DIMENSIONS AND FINAL STOOP ELEVATIONS.
- REFERENCE CONCRETE SPECIFICATIONS FOR CONCRETE FINISH ON SURFACES EXPOSED TO VIEW.



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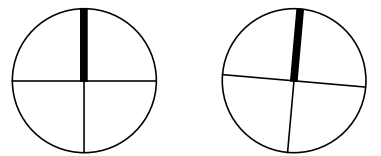
FOUNDATION PLAN -
EXPANSION

NOTE:
INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE STRUCTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. OTIE MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THE NEW WORK. REPORT DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE A/E FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE A/E IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.

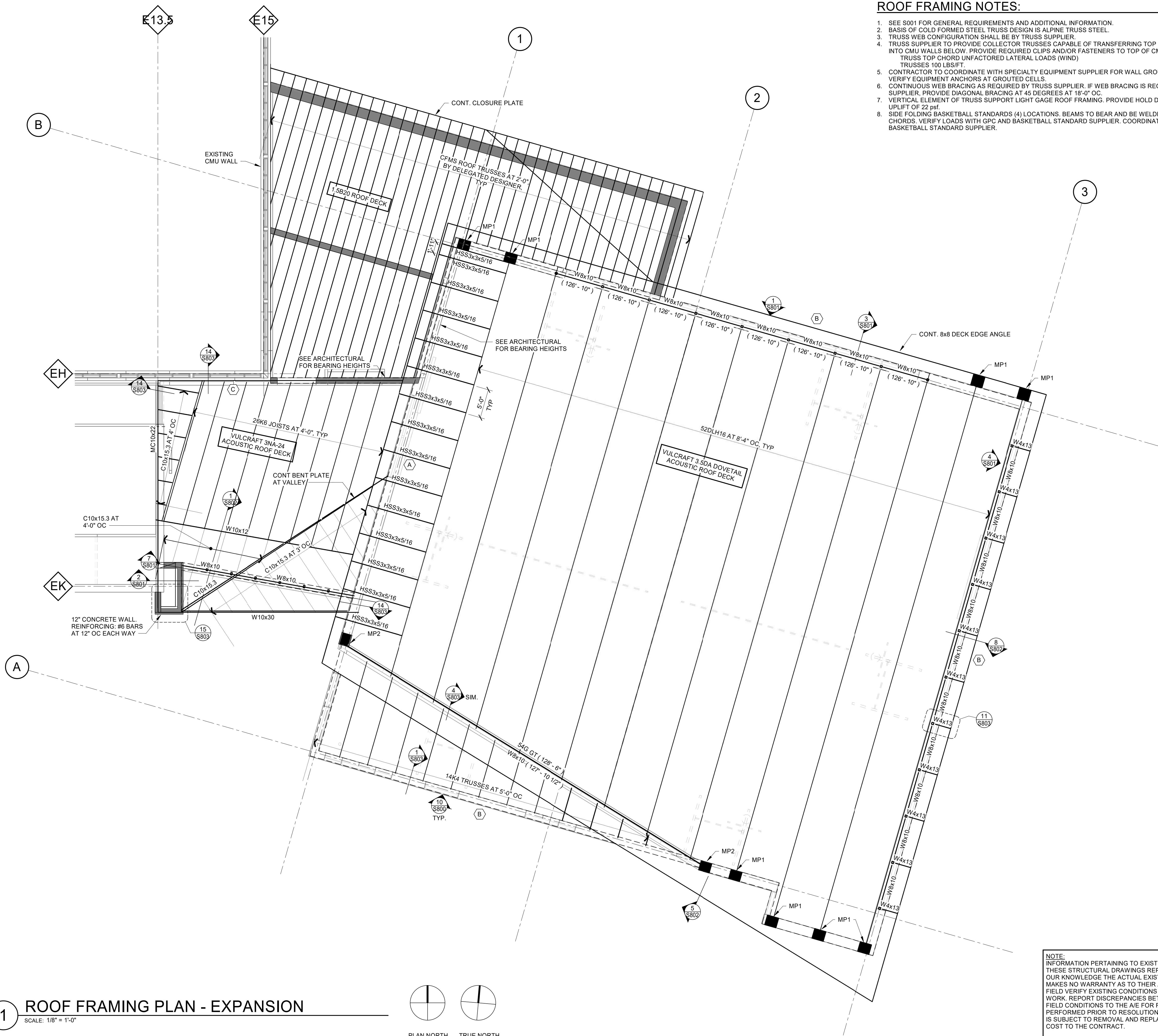
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1 FOUNDATION PLAN - EXPANSION

SCALE: 1/8" = 1'-0"

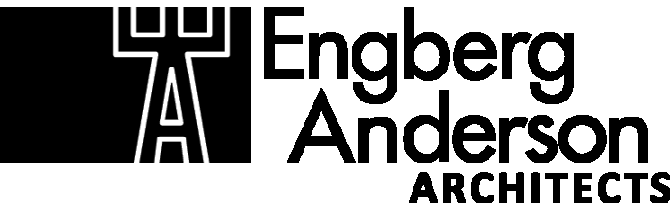


PLAN NORTH TRUE NORTH



ROOF FRAMING NOTES:

- SEE S001 FOR GENERAL REQUIREMENTS AND ADDITIONAL INFORMATION.
- BASIS OF COLD FORMED STEEL TRUSS DESIGN IS ALPINE TRUSS STEEL.
- TRUSS WEB CONFIGURATION SHALL BE BY TRUSS SUPPLIER.
- TRUSS SUPPLIER TO PROVIDE COLLECTOR TRUSSES CAPABLE OF TRANSFERRING TOP CHORD LATERAL LOADS INTO CMU WALLS BELOW. PROVIDE REQUIRED CLIPS AND/OR FASTENERS TO TOP OF CMU WALL/LEDGER TRUSS TOP CHORD UNFACTORED LATERAL LOADS (WIND) TRUSSES 100 LBS/FT.
- CONTRACTOR TO COORDINATE WITH SPECIALTY EQUIPMENT SUPPLIER FOR WALL GROUTING REQUIREMENTS. VERIFY EQUIPMENT ANCHORS AT GROUTED CELLS.
- CONTINUOUS WEB BRACING AS REQUIRED BY TRUSS SUPPLIER. IF WEB BRACING IS REQUIRED BY THE TRUSS SUPPLIER, PROVIDE DIAGONAL BRACING AT 45 DEGREES AT 18'-0" OC.
- VERTICAL ELEMENT OF TRUSS SUPPORT LIGHT GAGE ROOF FRAMING. PROVIDE HOLD DOWN/STRAP TO RESIST UPLIFT OF 22 psf.
- SIDE FOLDING BASKETBALL STANDARDS (4) LOCATIONS. BEAMS TO BEAR AND BE WELDED TO JOISTS BOTTOM CHORDS. VERIFY LOADS WITH GPC AND BASKETBALL STANDARD SUPPLIER. COORDINATE LOCATIONS WITH BASKETBALL STANDARD SUPPLIER.



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ROOF FRAMING PLAN -
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S201

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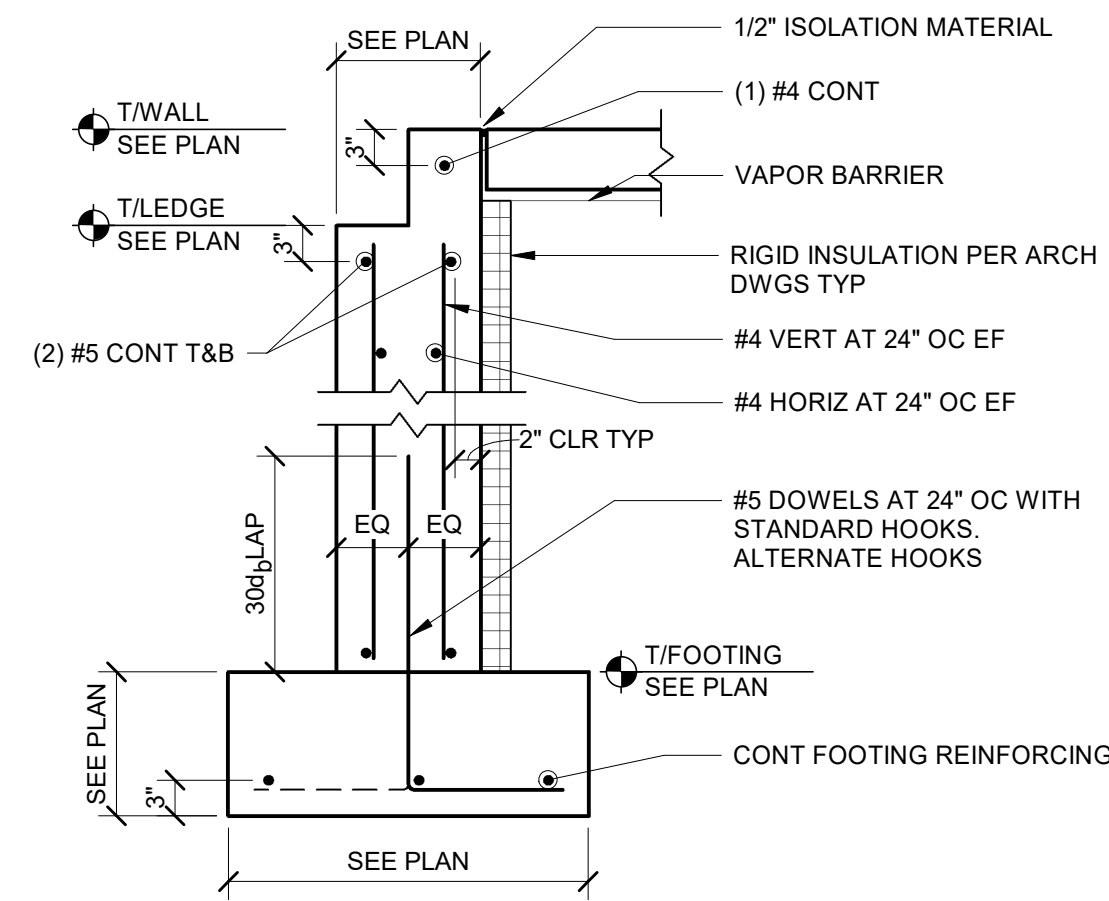
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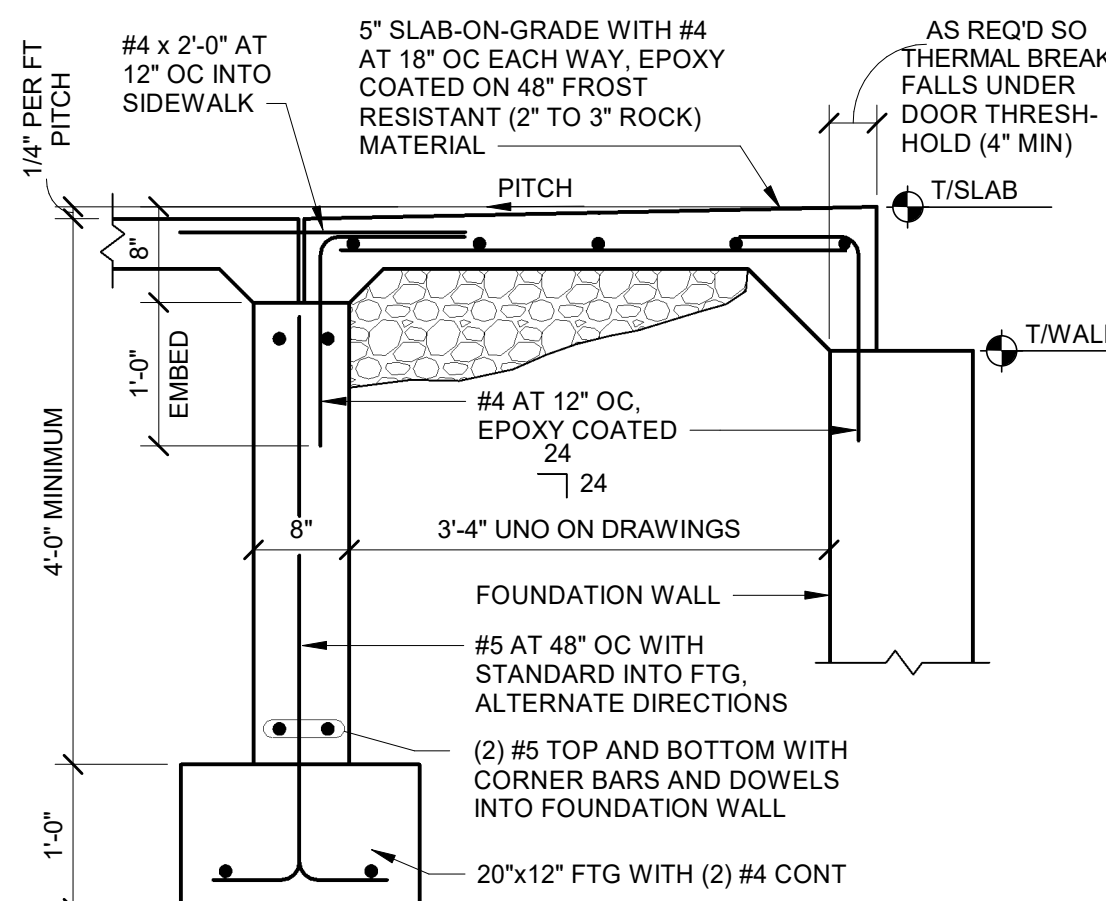
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STRUCTURAL DETAILS

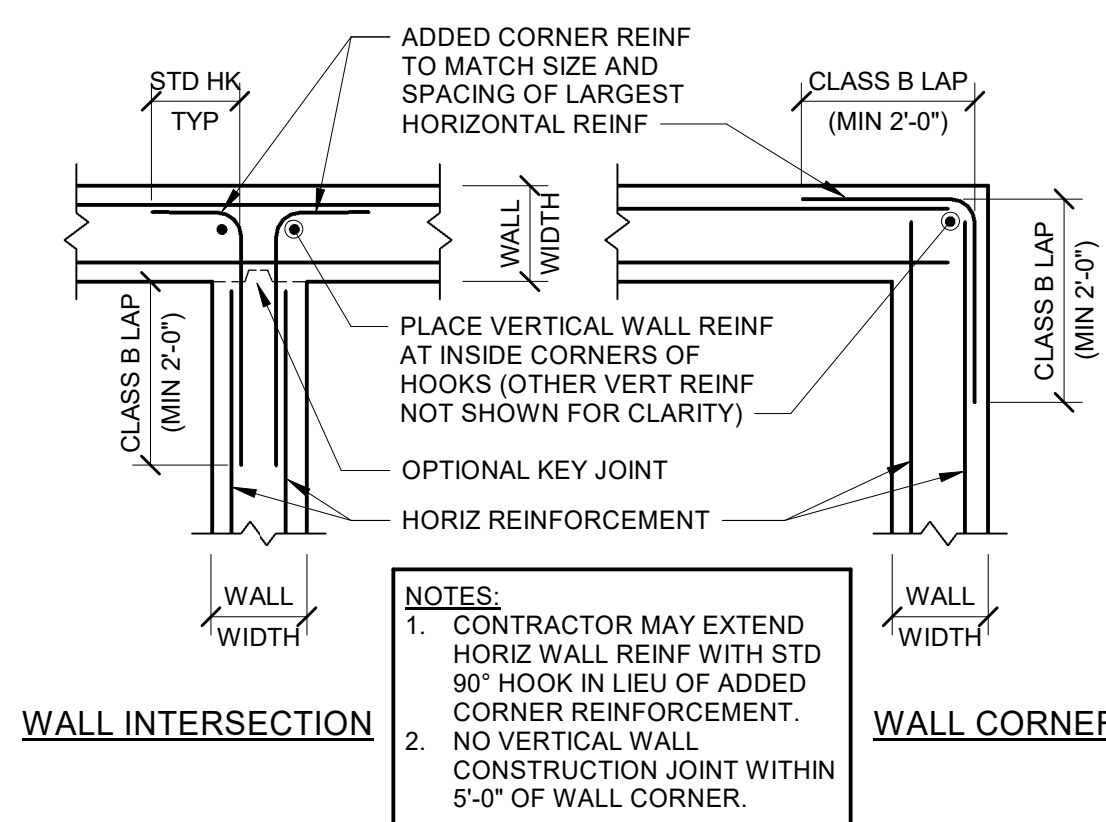
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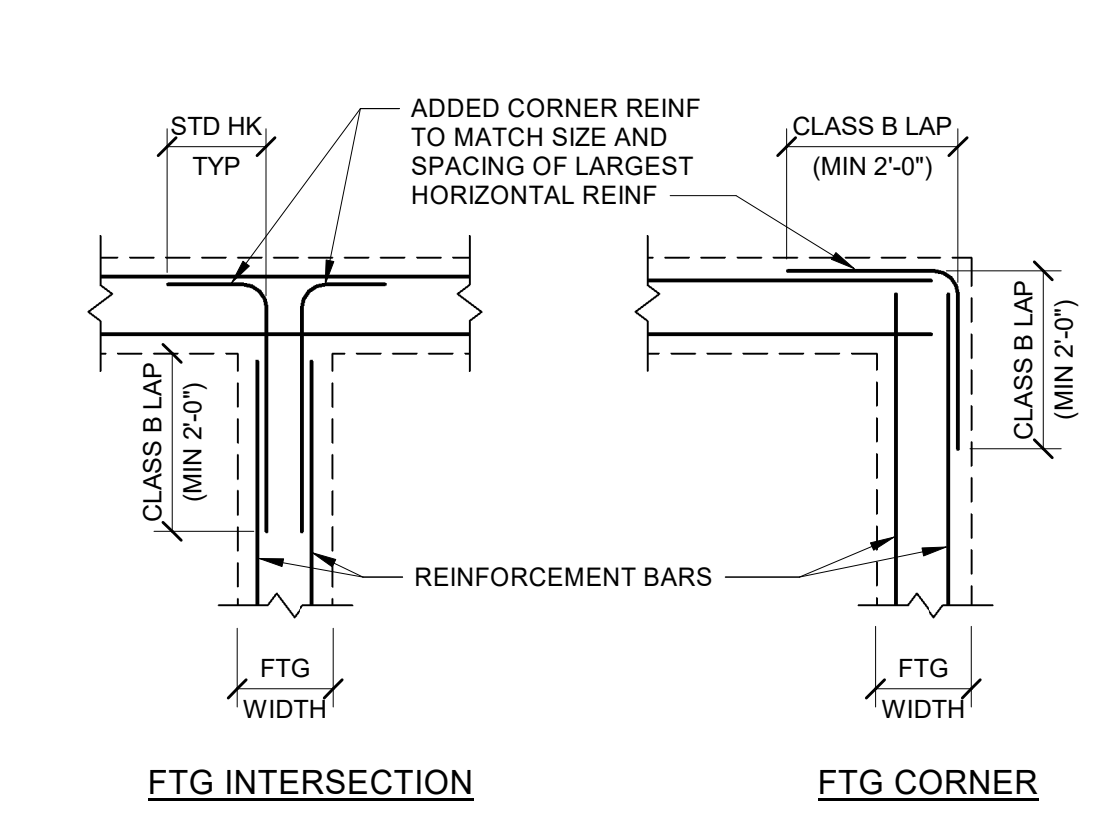
1 CONCRETE FROST WALL
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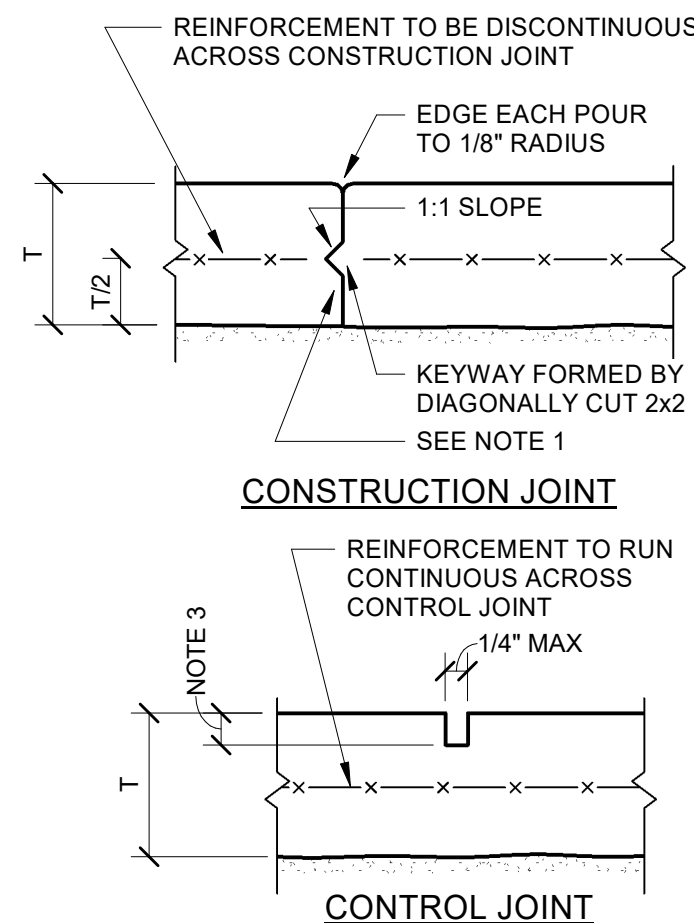
2 TYPICAL STOOP
SCALE: 3/4" = 1'-0"



3 TYPICAL WALL CORNER REINFORCEMENT
SCALE: 3/4" = 1'-0"

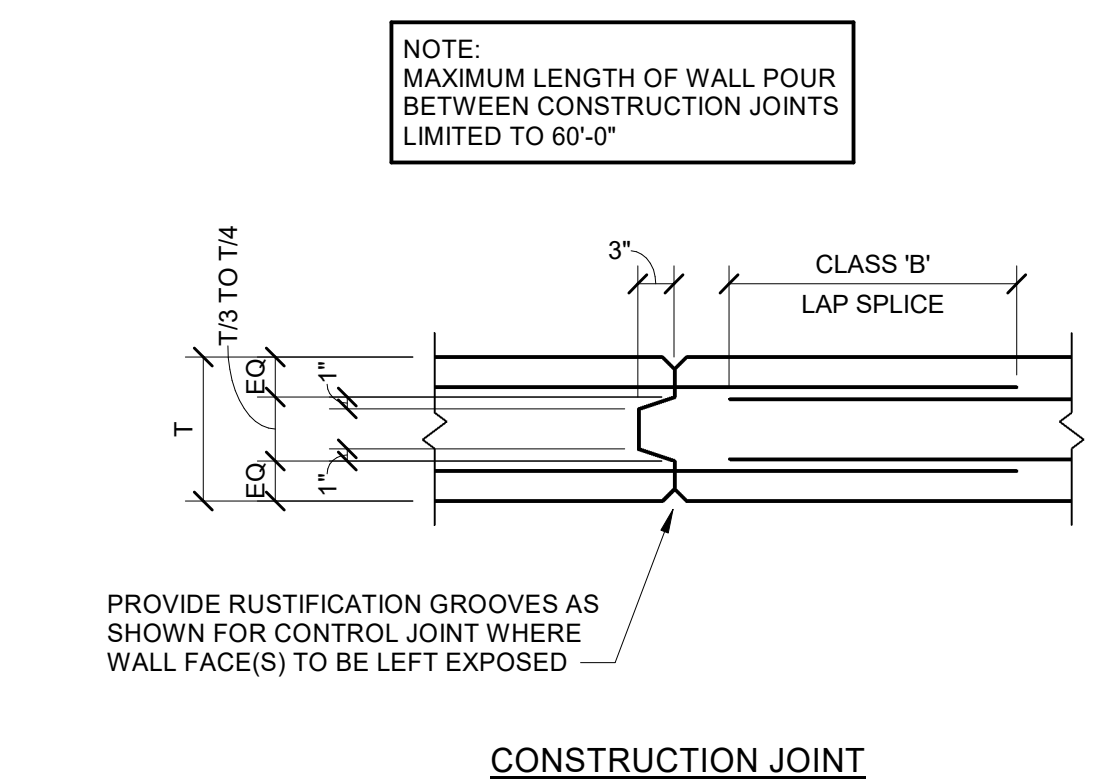


4 TYPICAL FOOTING CORNER REINFORCEMENT
SCALE: 3/4" = 1'-0"

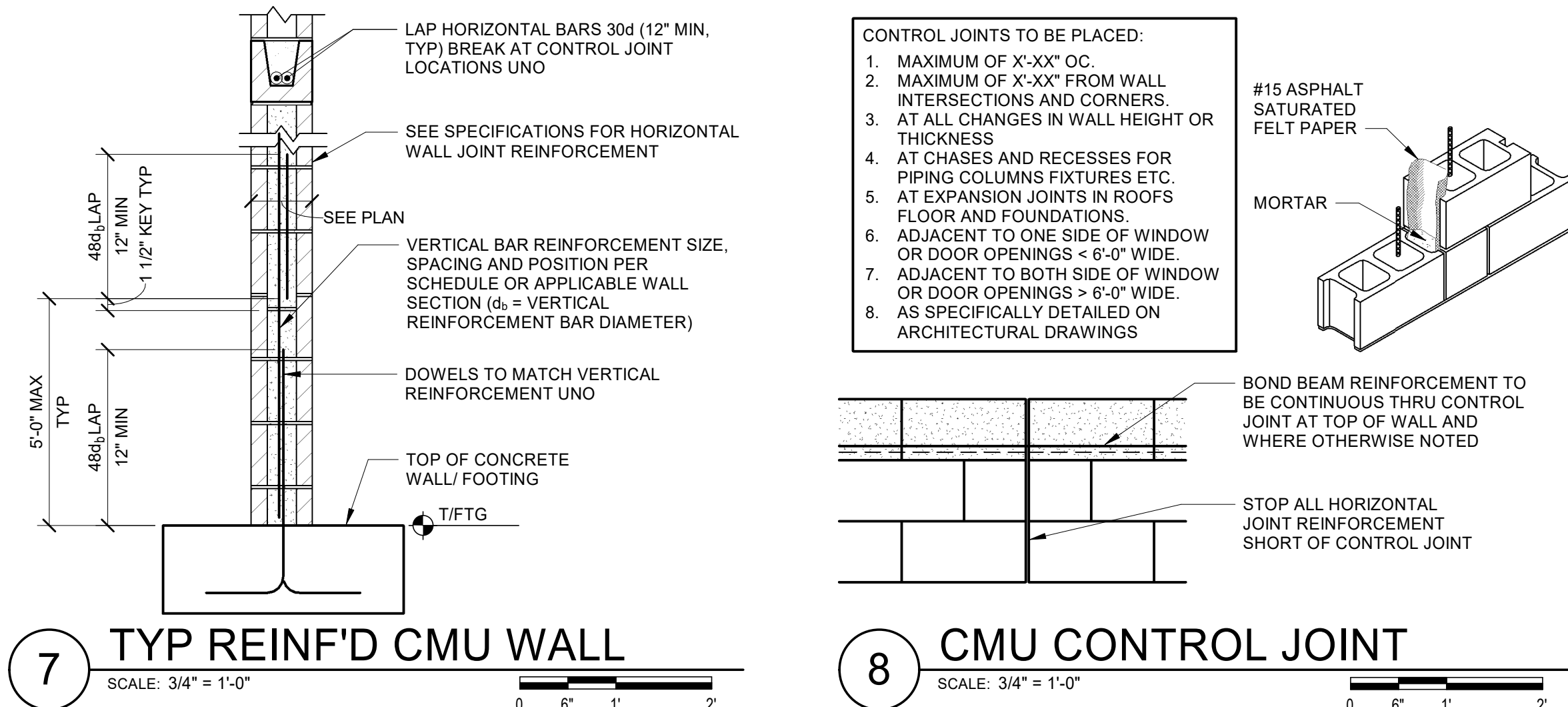
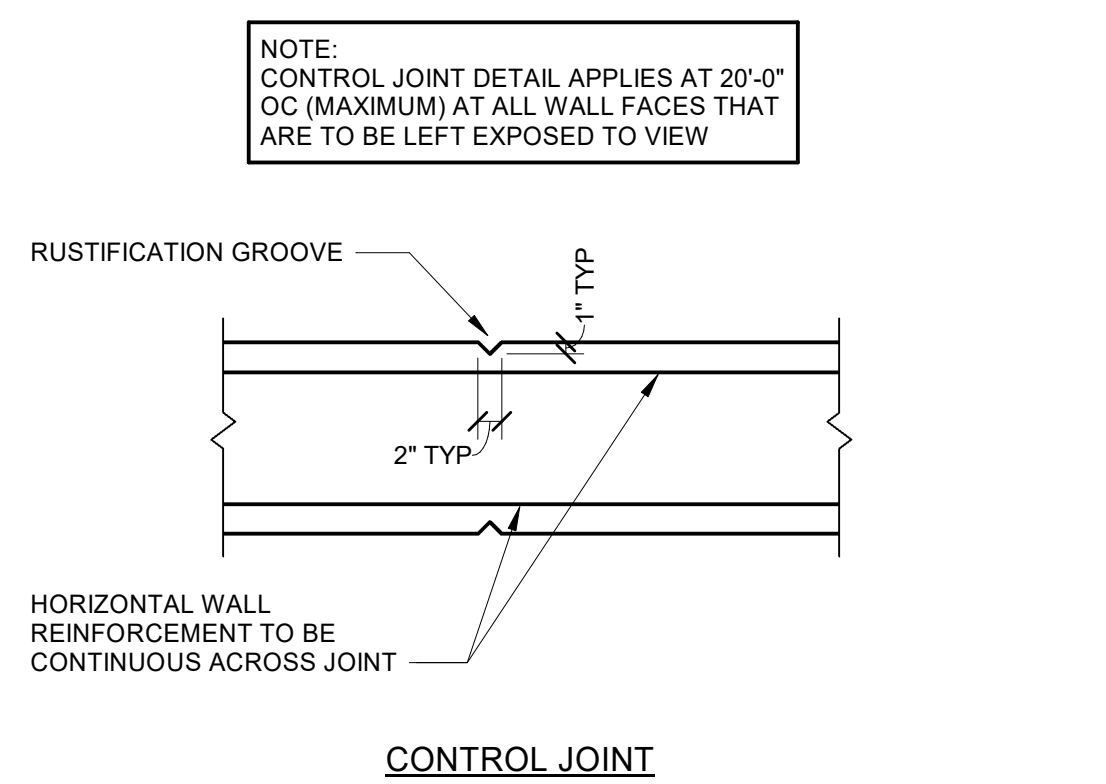


5 TYPICAL CONSTRUCTION AND CONTROL JOINTS IN SOG
SCALE: 3/4" = 1'-0"

- GENERAL NOTES**
- SLAB-ON-GRADE CONSTRUCTION SHOULD CONFORM WITH THE RECOMMENDATIONS AND REQUIREMENTS SET FORTH IN THE LATEST RELEASE OF ACI 302 GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION.
 - SEE PLANS FOR THE SLAB THICKNESS (T) AND REINFORCEMENT.
 - THE SLAB REINFORCEMENT, IF OTHER THAN WWF, SHALL BE CHAIRED BY SOIL SUPPORTED SLAB BOLSTERS.
 - REFER TO THE GENERAL NOTES, THE SPECIFICATIONS, AND THE DRAWINGS FOR SUB-FLOOR DRAINAGE SYSTEM, SUBGRADE PREPARATION, AND/OR MUD SLAB AND VAPOR RETARDER REQUIREMENTS.
 - THE SUBGRADE SHALL BE FREE OF STANDING WATER AT THE TIME OF CONCRETE PLACEMENT.
- CONSTRUCTION JOINT NOTES**
- BREAK THE BOND BETWEEN NEW AND PREVIOUSLY PLACED SLABS BY SPRAYING OR BY PAINTING THE EXPOSED SIDE OF THE JOINT WITH A CURING COMPOUND, ASPHALTIC EMULSION, OR FORM OIL.
- JOINT SPACING NOTES**
- UNLESS SHOWN OTHERWISE ON THE DRAWINGS, PROVIDE CONTROL AND/OR CONSTRUCTION JOINTS AT EVERY COLUMN LINE AND IN BETWEEN THE COLUMNS SUCH THAT THE JOINT SPACING DOES NOT EXCEED 36" (SLAB THICKNESS) UNLESS SHOWN OTHERWISE. THE RESULTING PANELS SHOULD BE APPROXIMATELY SQUARE.
- CONTROL JOINT NOTES**
- FOR SAW CUT CONTROL JOINTS, MAKE THE SAW CUT AS SOON AS THE SLAB IS ABLE TO SUPPORT THE WEIGHT OF WORKERS AND SAWING EQUIPMENT WITHOUT DAMAGE TO THE FINISHED SURFACE OF THE SLAB, BUT WITHIN 24 HOURS.
 - REFER TO SPECIFICATIONS REGARDING EPOXY RESIN OR ELASTOMERIC SEALANT REQUIREMENTS TO FILL CTRL JOINTS.
 - DEPTH OF SAWCUT SHOULD BE 1 1/4" IF PRODUCED USING EARLY ENTRY DRY-CUT PROCESS AND T/4 (1" MINIMUM) IF PRODUCED USING THE CONVENTIONAL WET-CUT PROCESS.
- FORMED CONTROL JOINT OPTION NOTES**
- FORM CONTROL JOINTS BY INSERTING A PRE-MOLDED STRIP INTO THE FRESH CONCRETE UNTIL THE TOP SURFACE OF THE STRIP IS FLUSH WITH THE TOP SURFACE OF THE SLAB.
 - TOOL THE SLAB EDGES ROUND ON EACH SIDE OF THE INSERT, 1/8" MAXIMUM RADIUS.
 - AFTER THE CONCRETE HAS CURED, REMOVE THE INSERTS AND CLEAN THE GROOVE OF LOOSE DEBRIS.



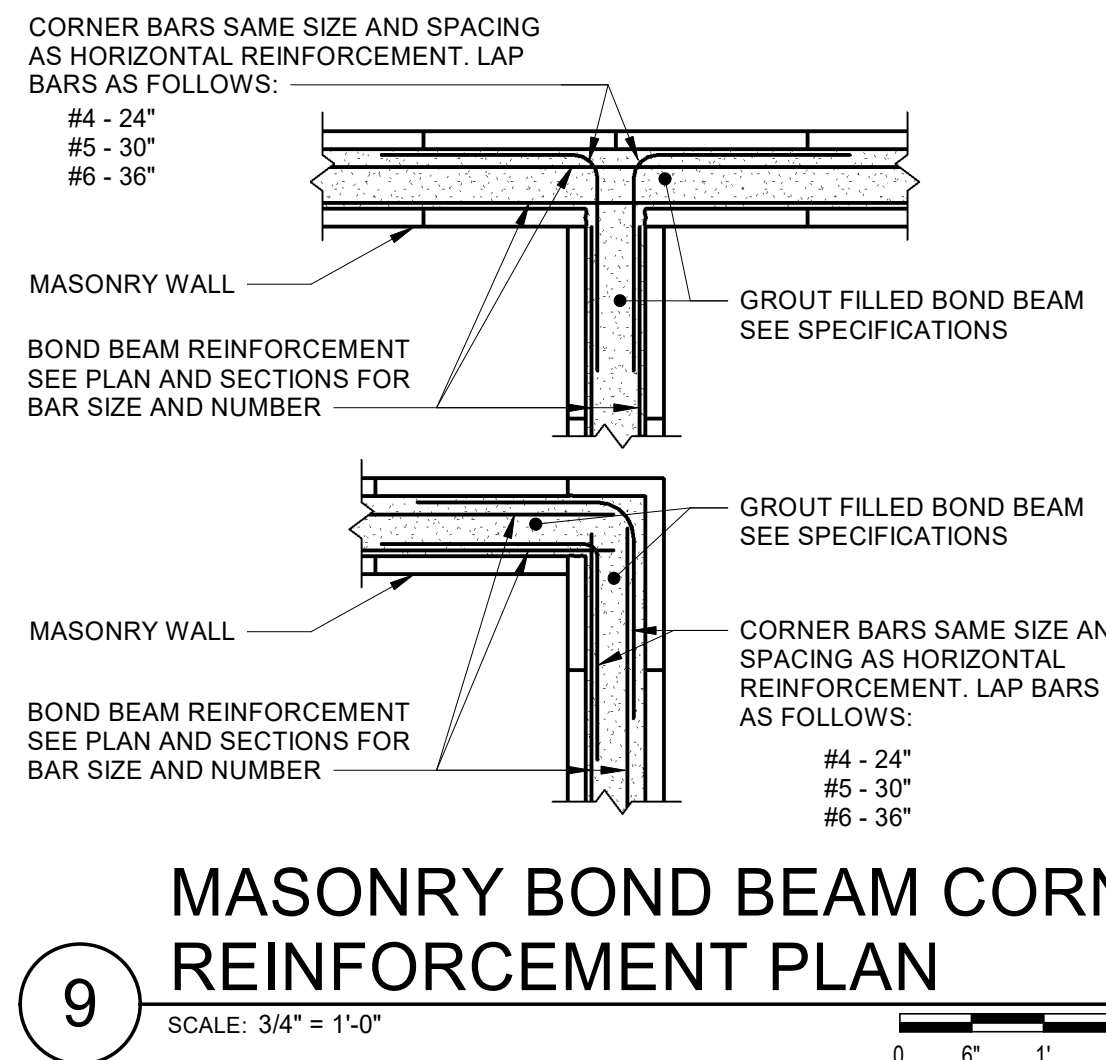
6 CONCRETE WALL JOINTS
SCALE: 3/4" = 1'-0"



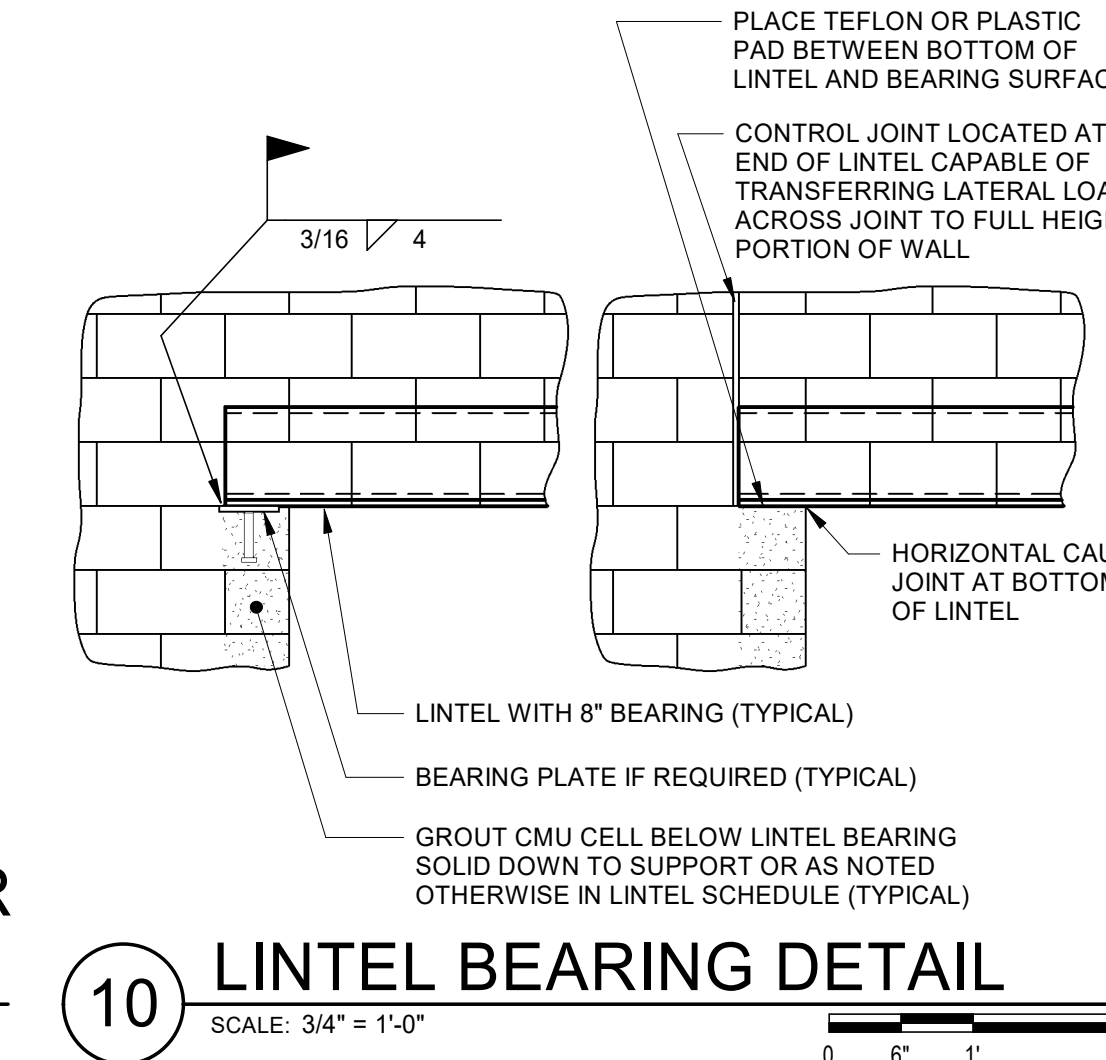
7 TYP REINF'D CMU WALL
SCALE: 3/4" = 1'-0"



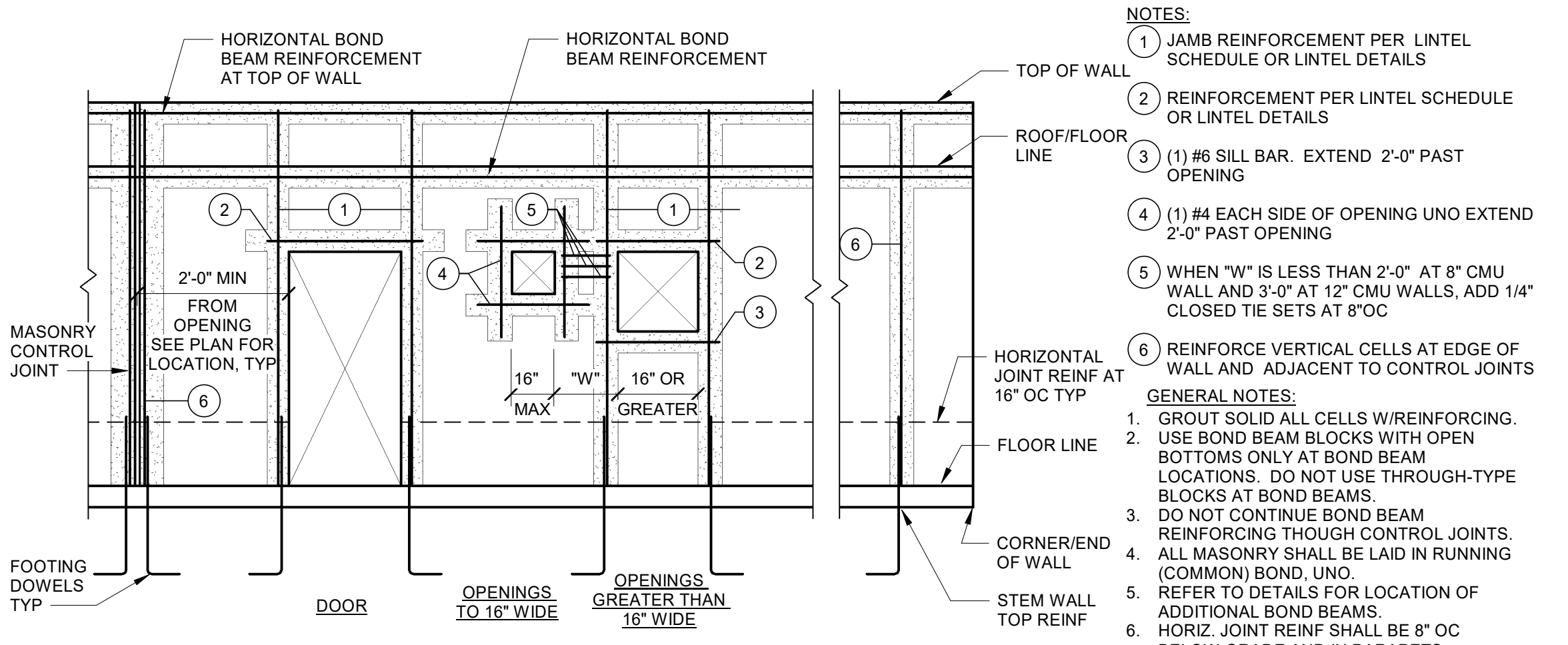
8 CMU CONTROL JOINT
SCALE: 3/4" = 1'-0"



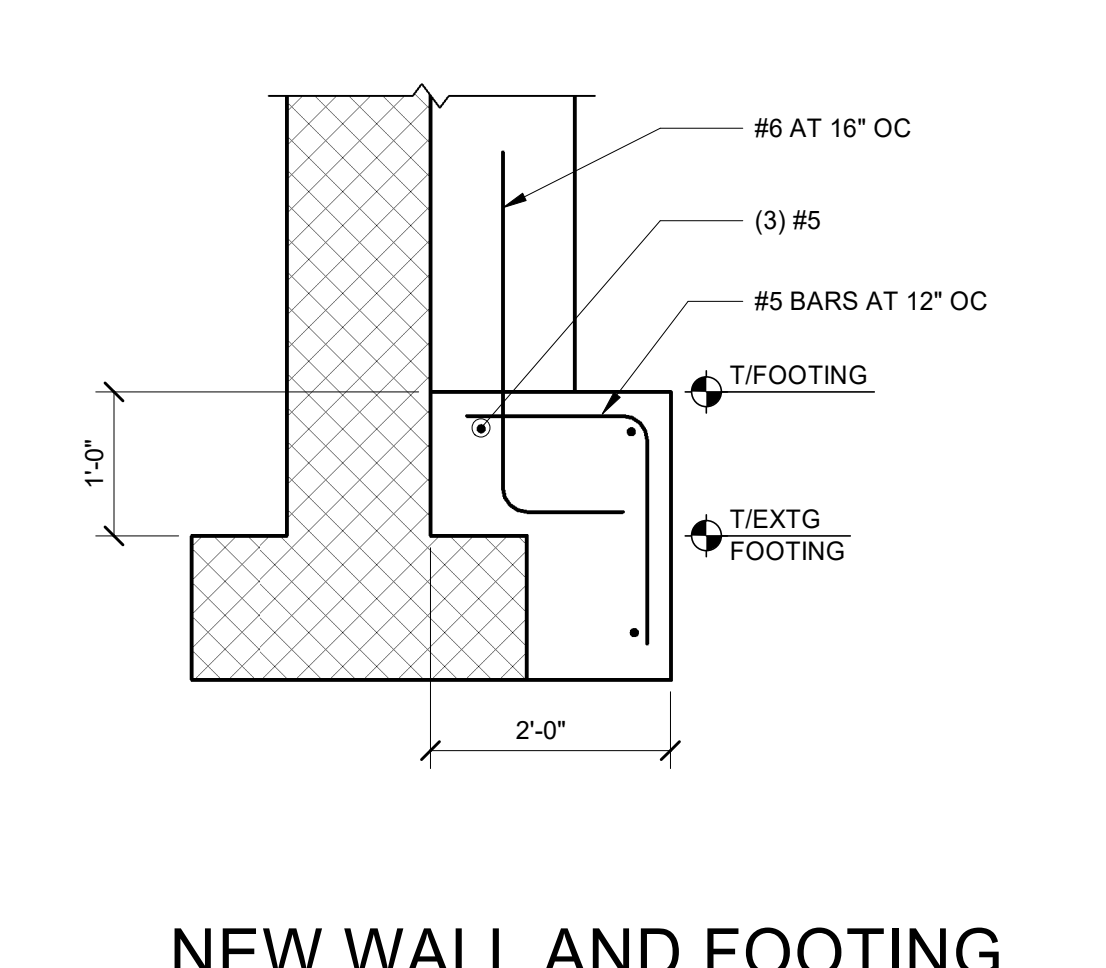
9 MASONRY BOND BEAM CORNER REINFORCEMENT PLAN
SCALE: 3/4" = 1'-0"



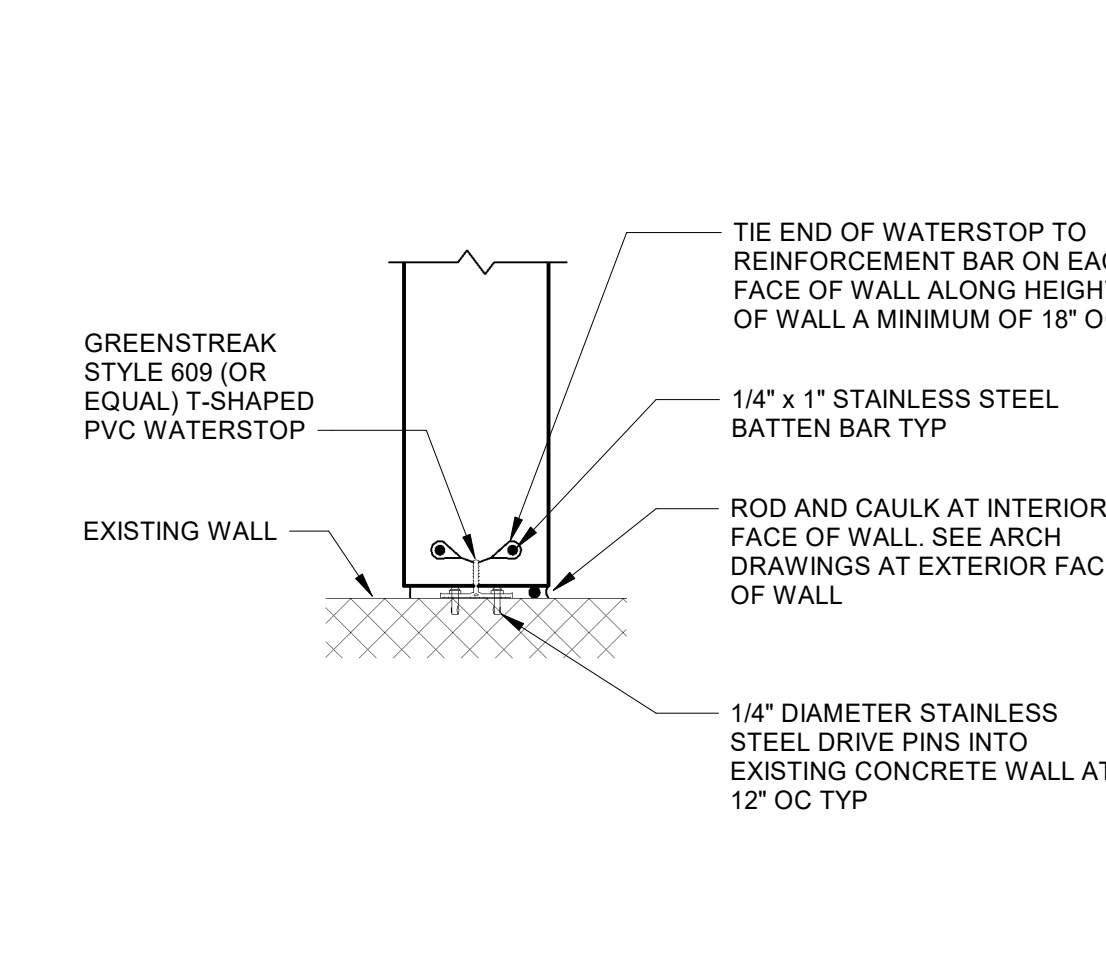
10 LINTEL BEARING DETAIL
SCALE: 3/4" = 1'-0"



11 TYPICAL CMU WALL REINFORCEMENT AT OPENINGS
SCALE: 3/4" = 1'-0"



12 NEW WALL AND FOOTING ADJACENT TO EXISTING
SCALE: 3/4" = 1'-0"



13 NEW FDN TO EXISTING
SCALE: 3/4" = 1'-0"

WARNER PARK
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1625 NORTHPORT DRIVE
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CITY OF MADISON PARKS DIVISION
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MADISON, WI 53715

PROJECT NUMBER 223471.00

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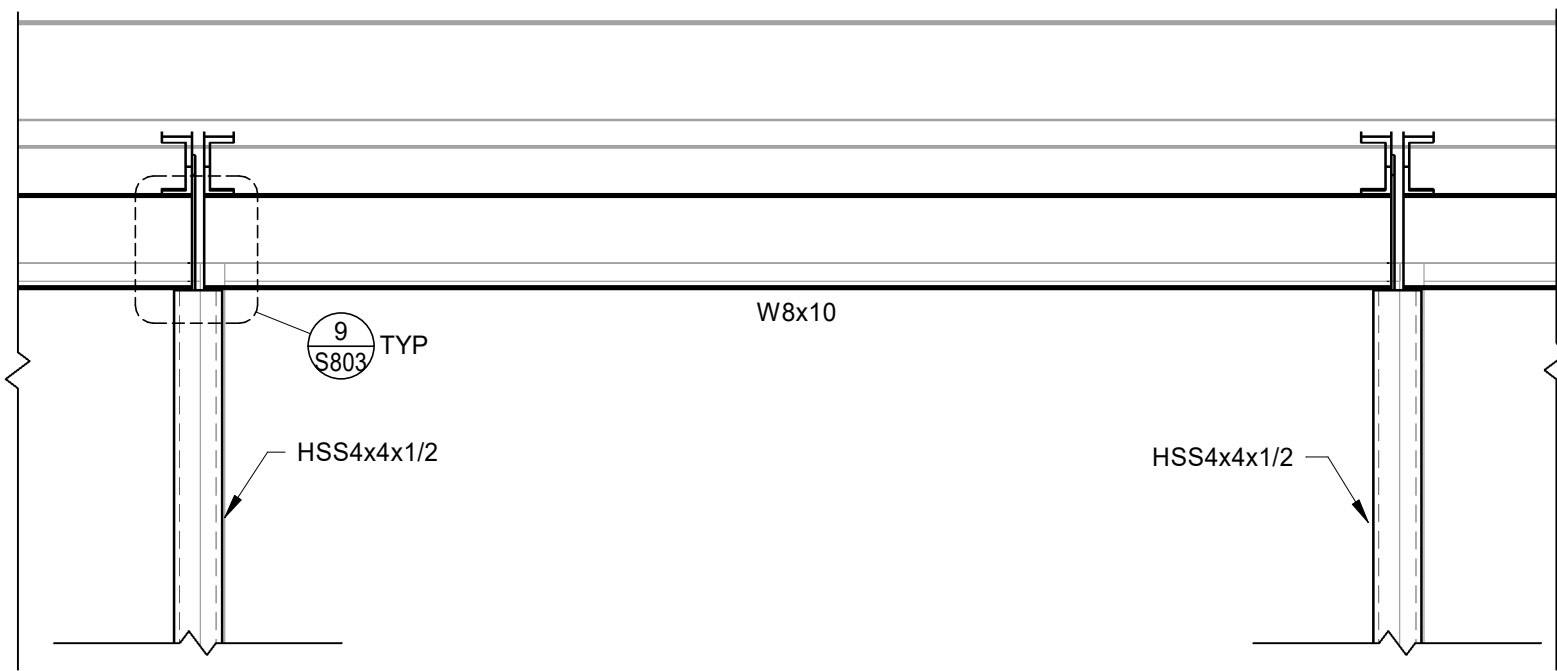
NO. DESCRIPTION DATE

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STRUCTURAL DETAILS

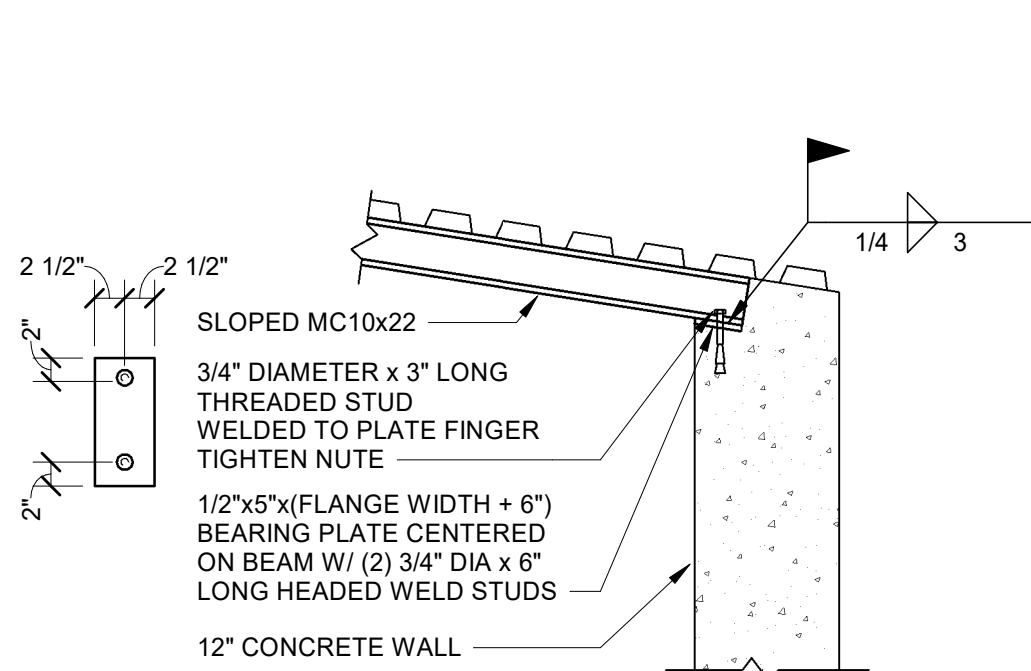
S801



1 HSS COLUMNS FOR RIBBON WINDOW

SCALE: 3/4" = 1'-0"

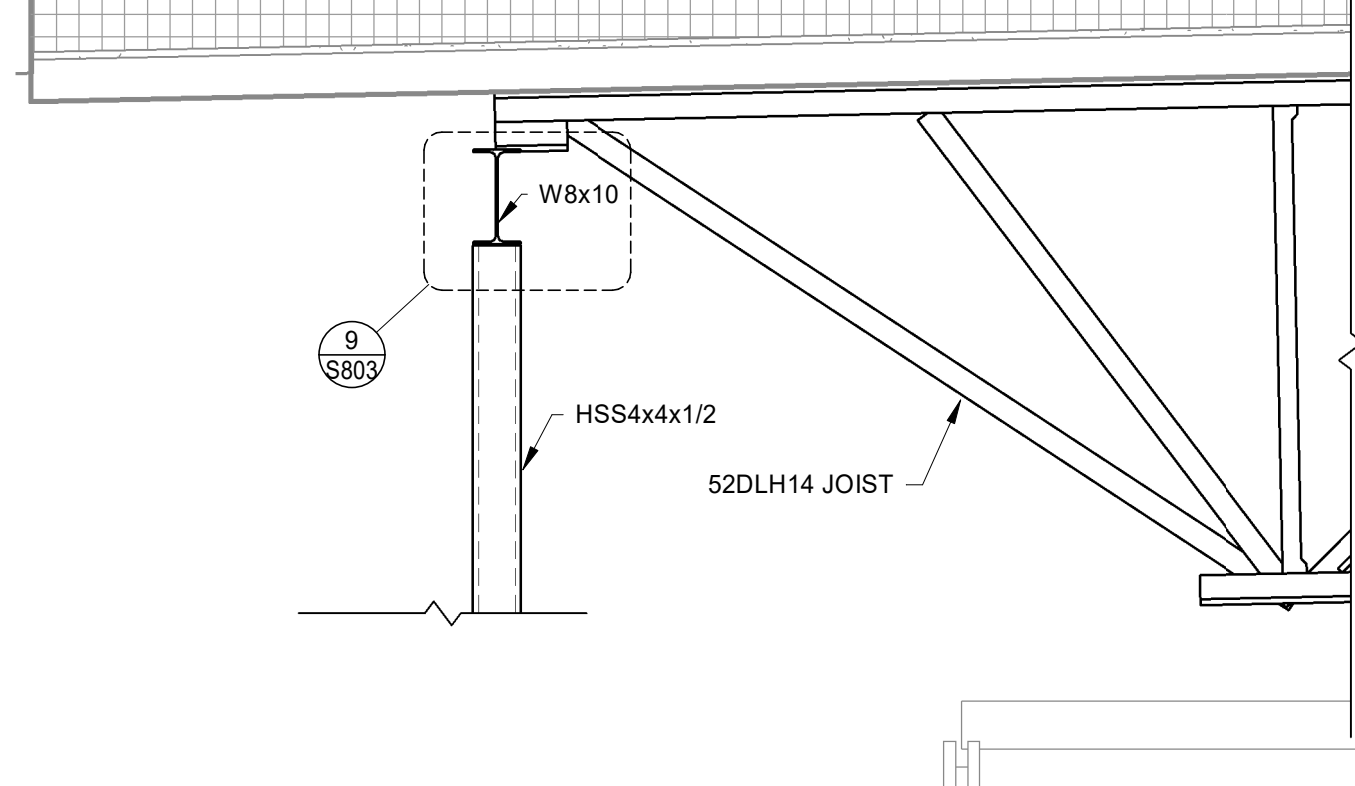
0 6" 1' 1'-6"



2 VESTIBULE ENTRY MC
BEARING DETAIL

SCALE: 3/4" = 1'-0"

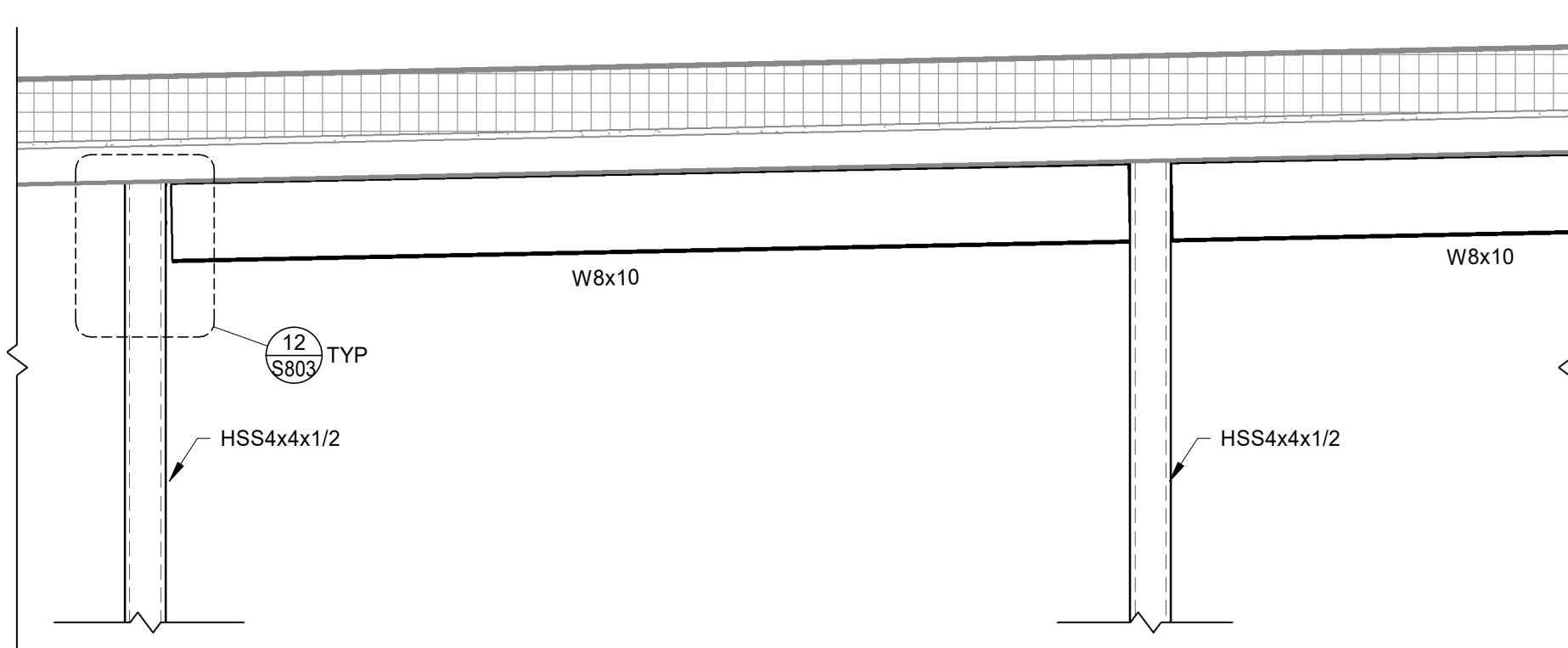
0 6" 1' 2'



3 JOIST ON BEAM AT RIBBON WINDOW

SCALE: 3/4" = 1'-0"

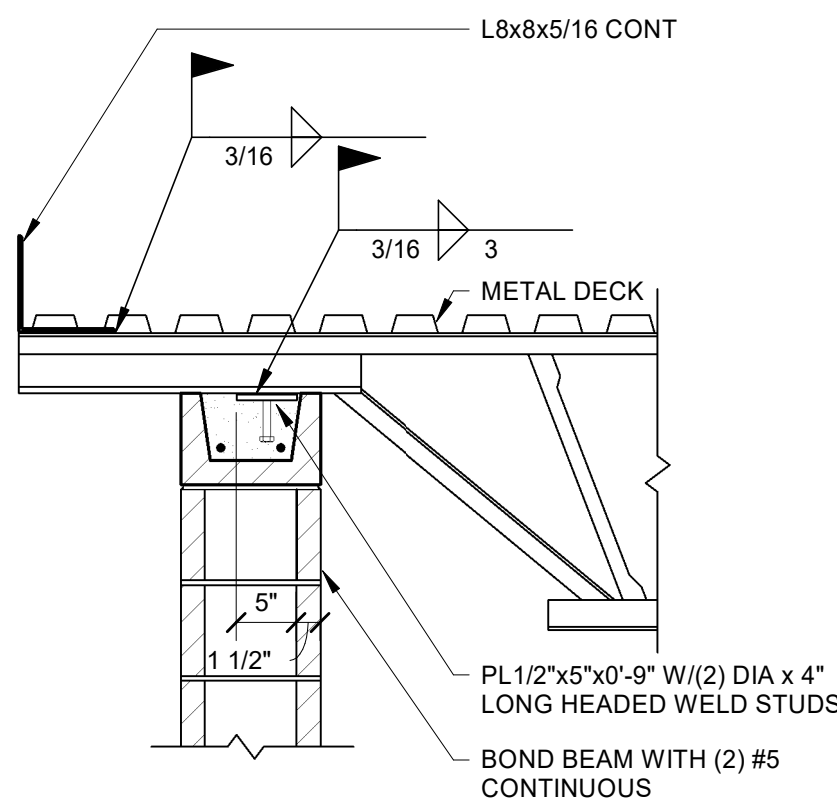
0 6" 1' 1'-6"



4 STEEL BEAM AT RIBBON WINDOW

SCALE: 3/4" = 1'-0"

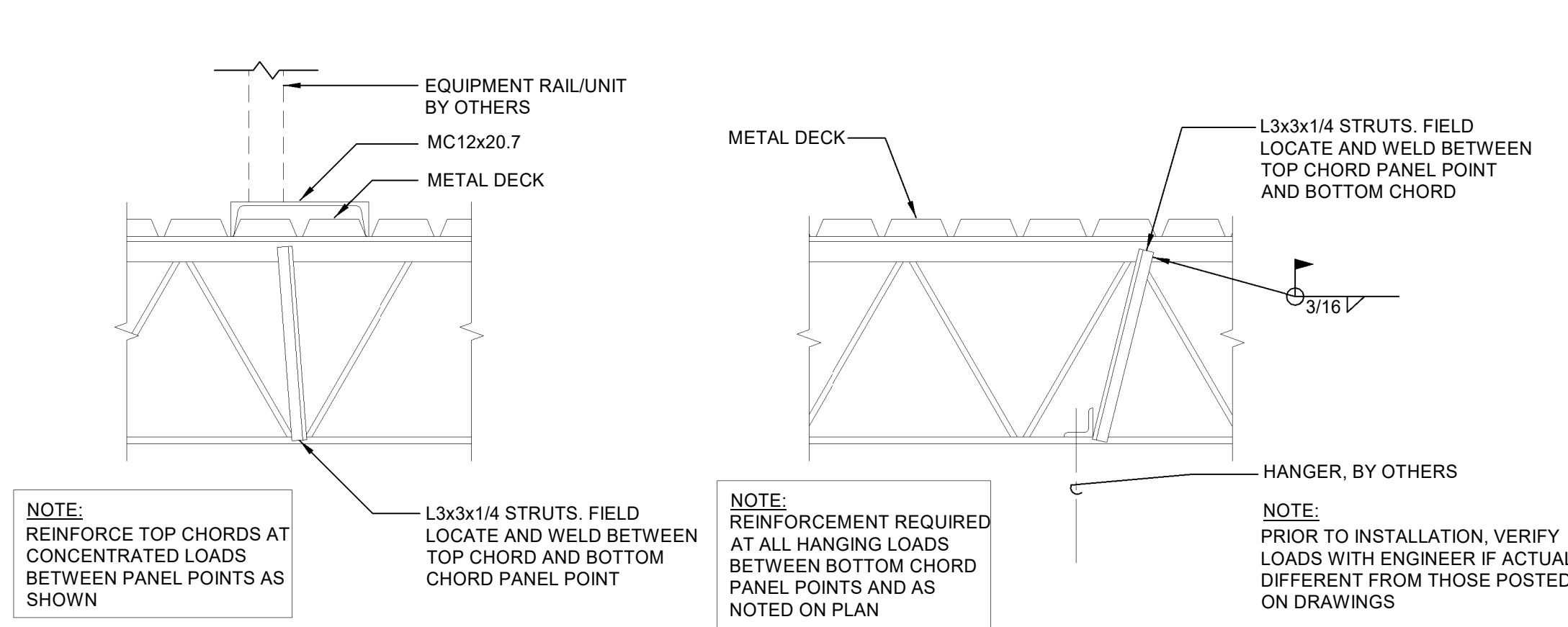
0 6" 1' 1'-6"



5 LH JOIST ON CMU WALL
WITH DECK CHORD ANGLE

SCALE: 3/4" = 1'-0"

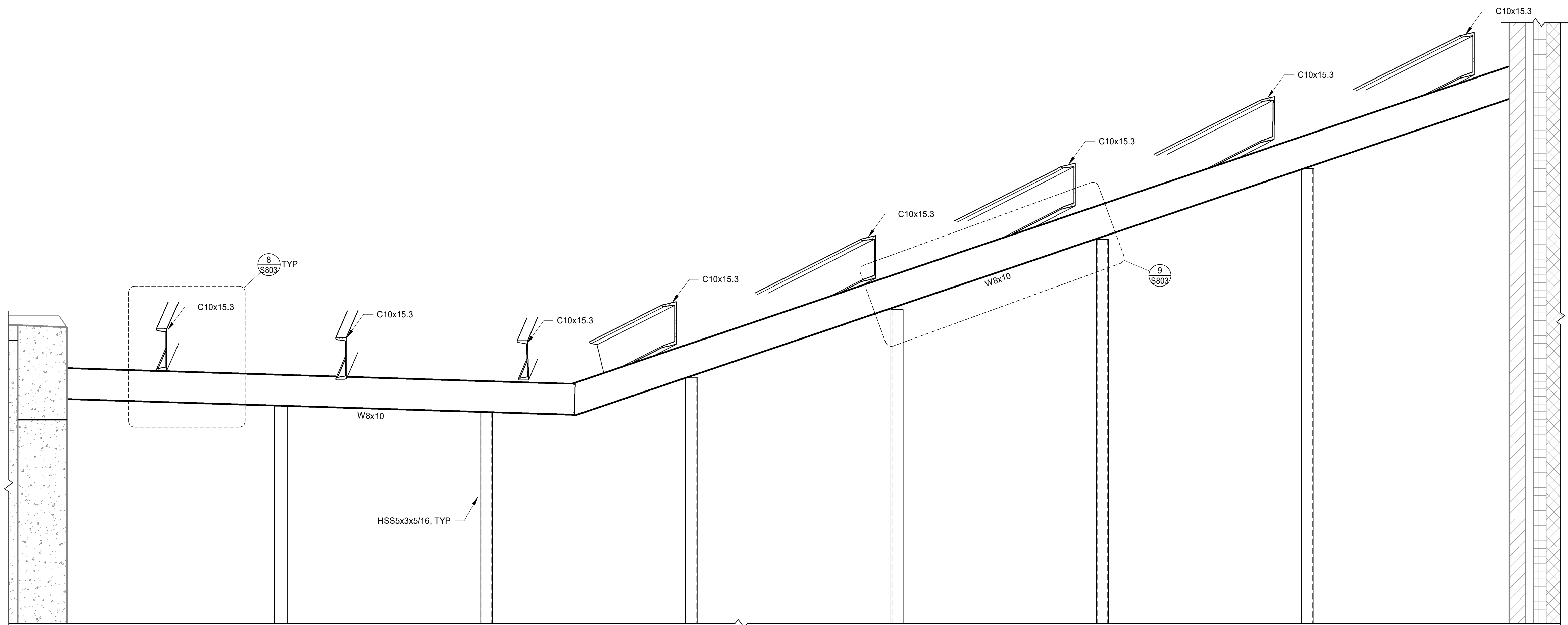
0 6" 1' 2'



6 LOAD AT JOIST

SCALE: 3/4" = 1'-0"

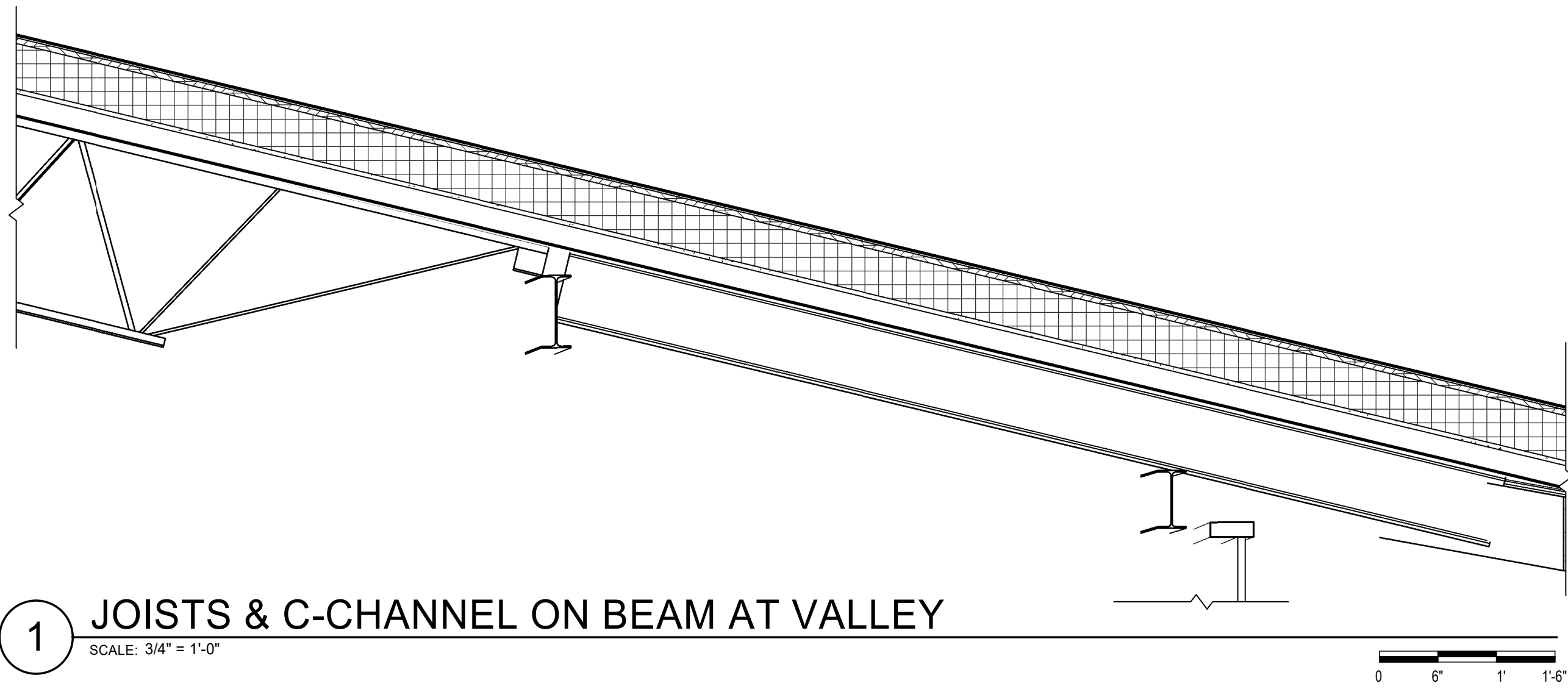
0 6" 1' 2'



7 COLUMNS AND BEAMS AT VALLEY

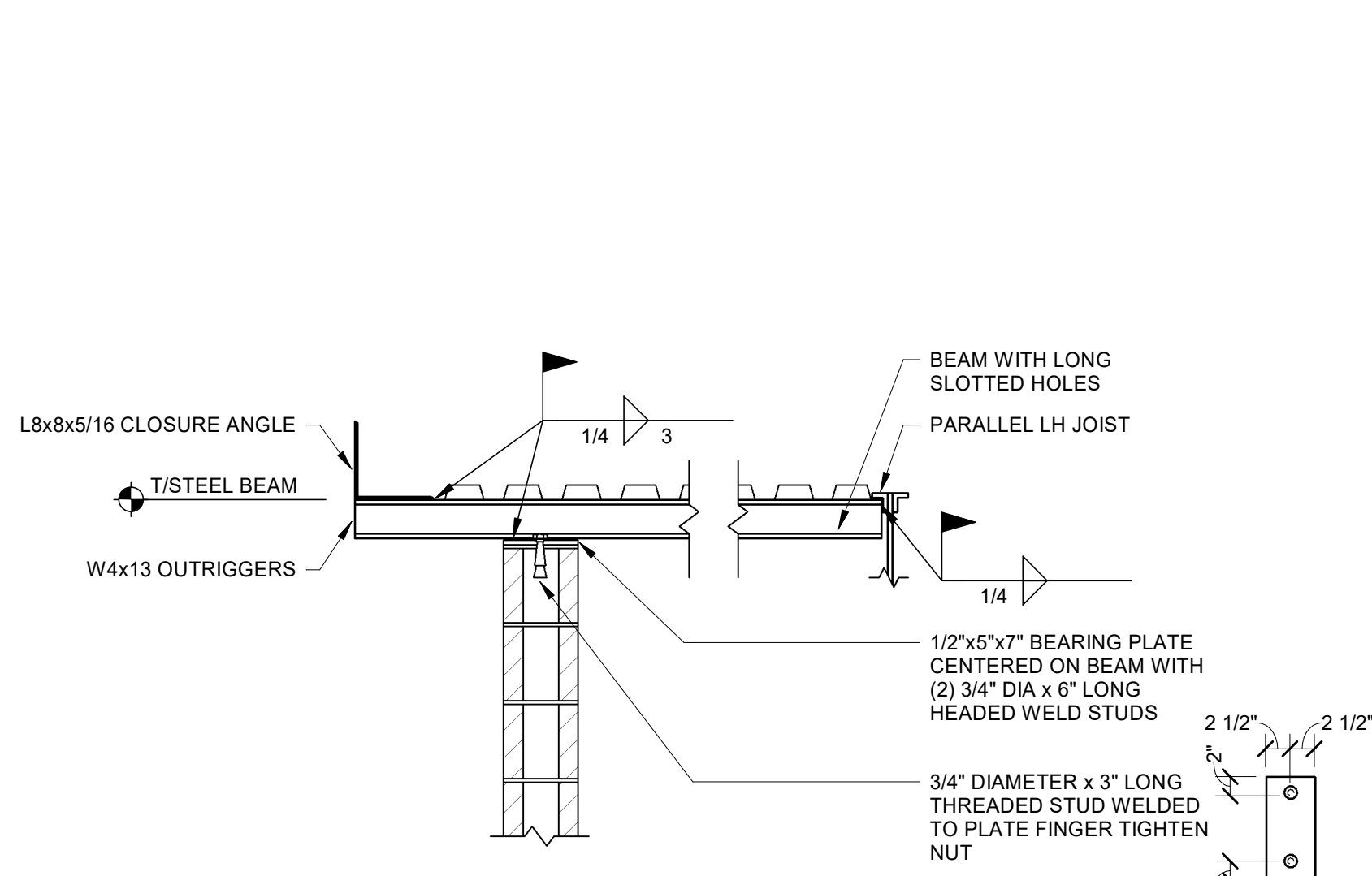
SCALE: 3/4" = 1'-0"

0 6" 1' 1'-6"



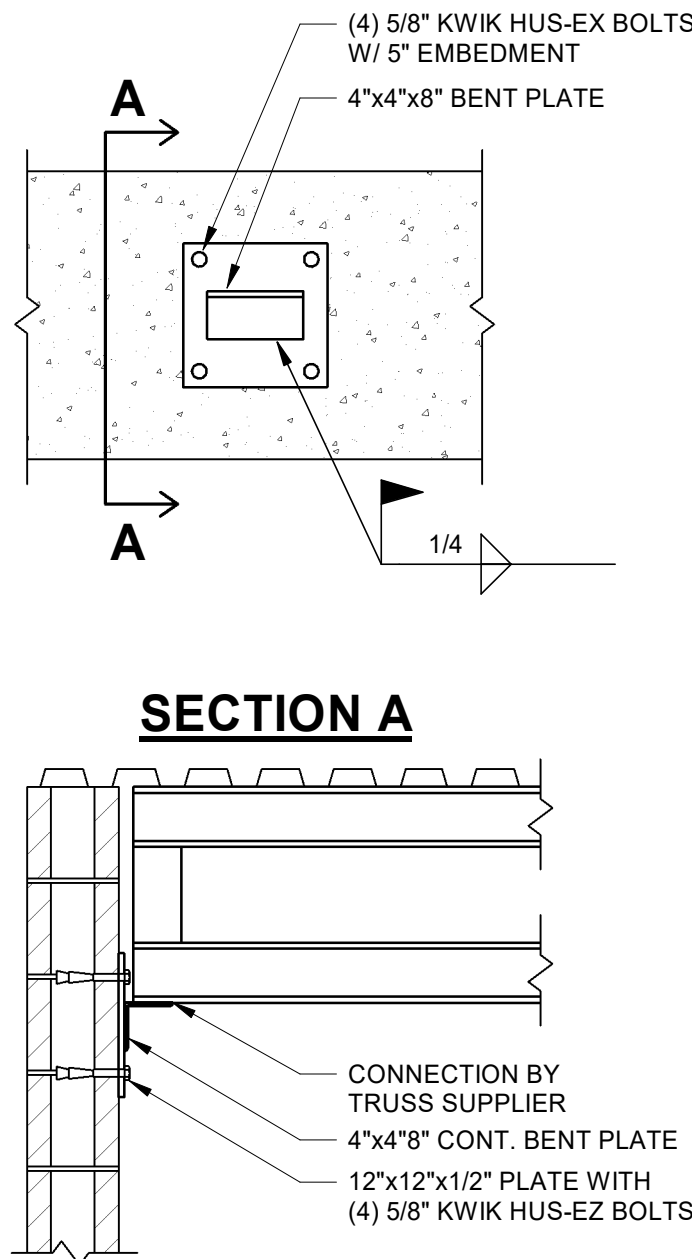
1 JOISTS & C-CHANNEL ON BEAM AT VALLEY

SCALE: 3/4" = 1'-0"



NOTES:

1. CREATE POCKET IN MASONRY TO PROVIDE BEAM BEARING LOCATION.
2. CLEANLY MASON AROUND BEAM BEARING LOCATIONS

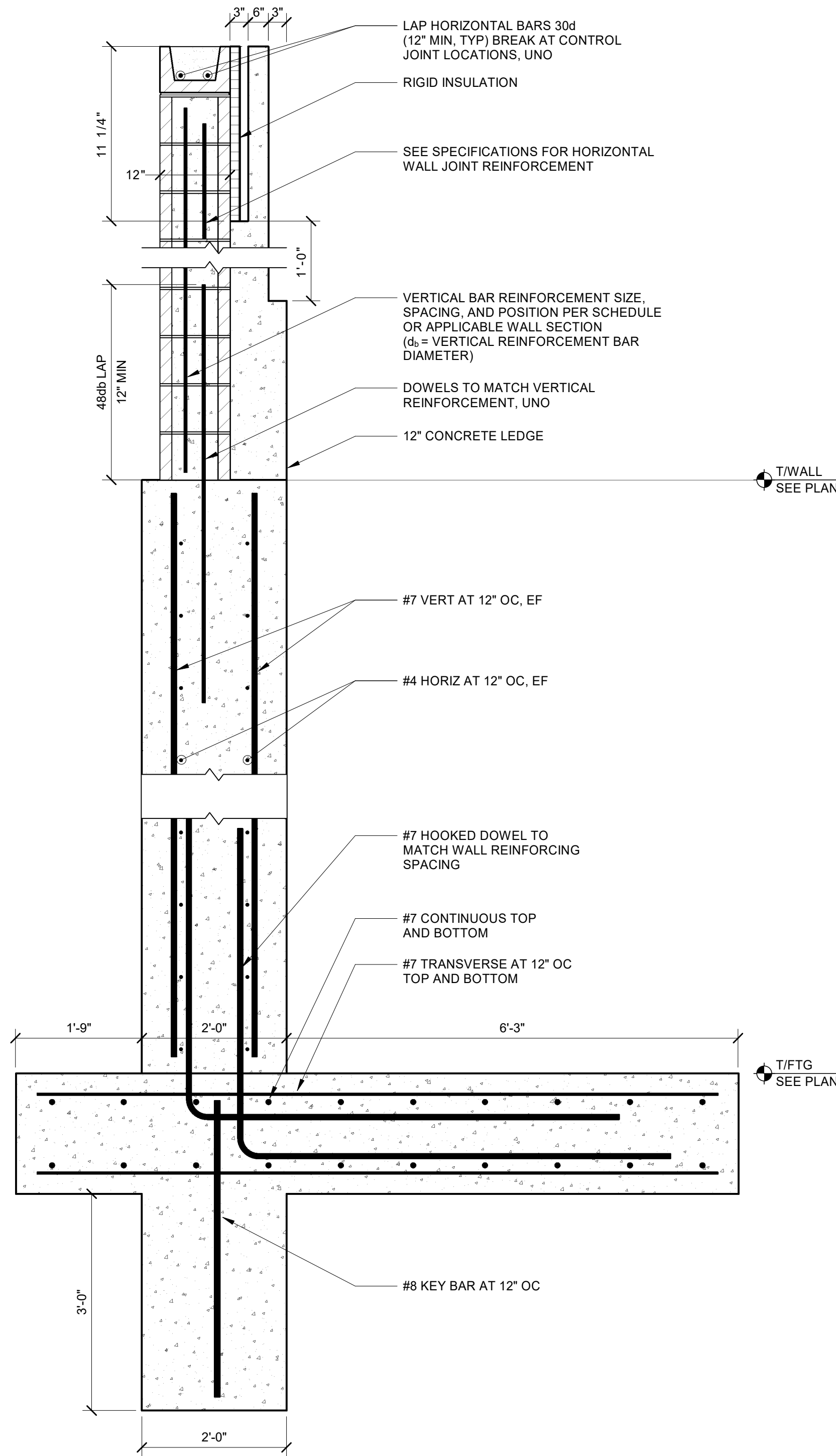


3 CFMS TRUSS BEARING

SCALE: 3/4" = 1'-0"

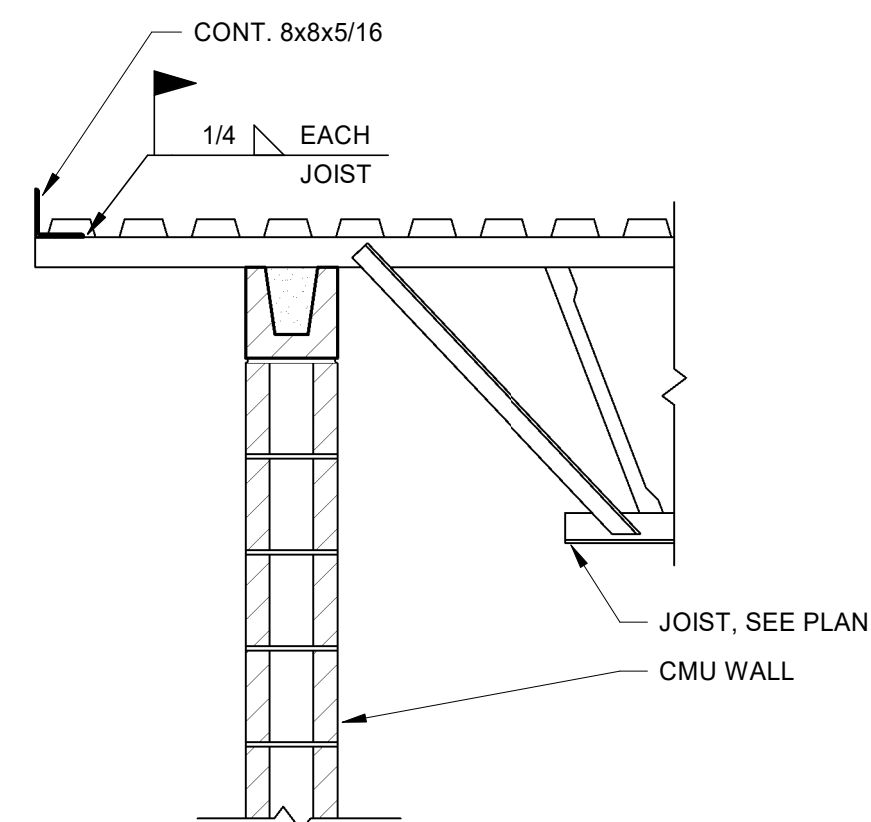
4 EXTERIOR GYM WALL SECTION

SCALE: 3/4" = 1'-0"



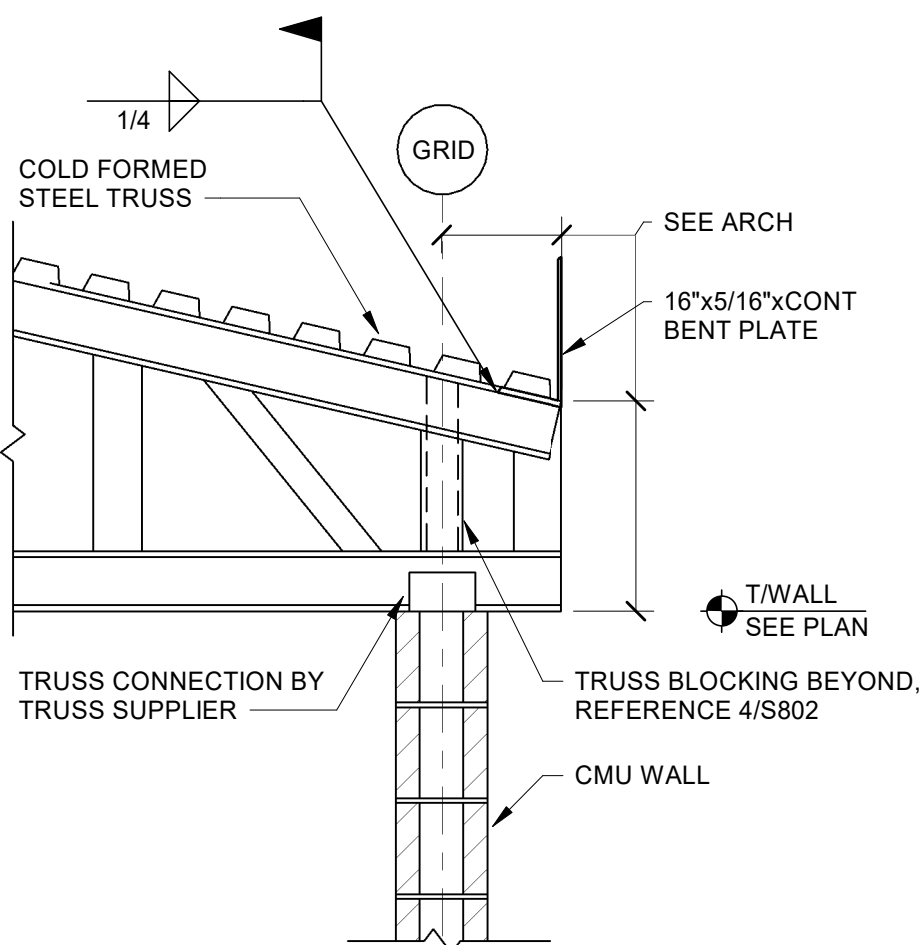
2 WEST OUTRIGGER DETAIL

SCALE: 3/4" = 1'-0"



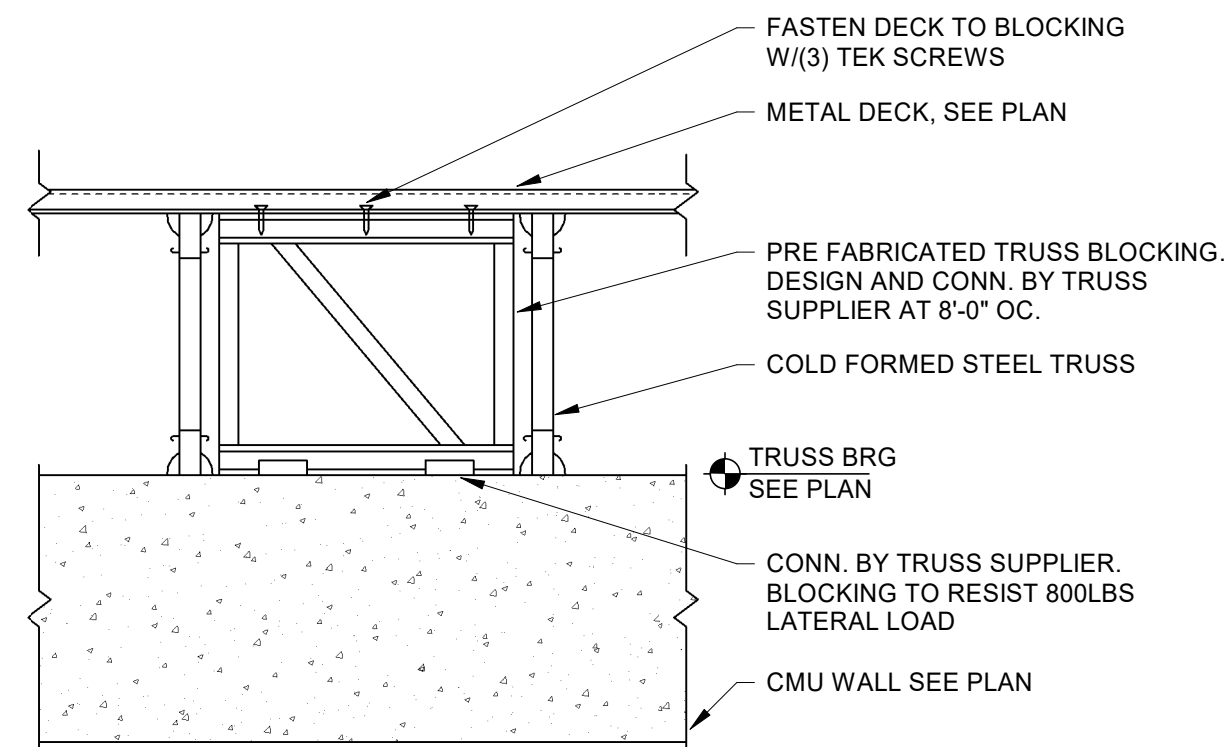
5 ROOF DECK EDGE

SCALE: 3/4" = 1'-0"



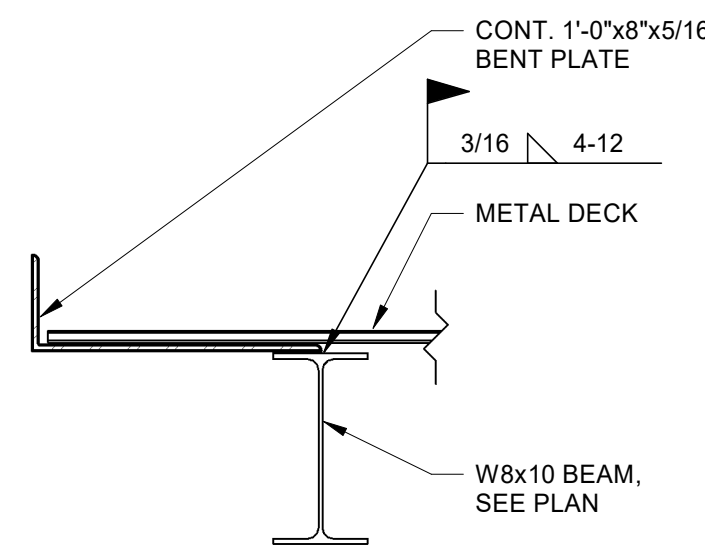
6 LT GAGE BRACING

SCALE: 3/4" = 1'-0"



7 TYP TRUSS BLOCKING

SCALE: 3/4" = 1'-0"



8 DECK EDGE AT EAST WALL

SCALE: 1 1/2" = 1'-0"

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MADISON, WI 53715

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S802

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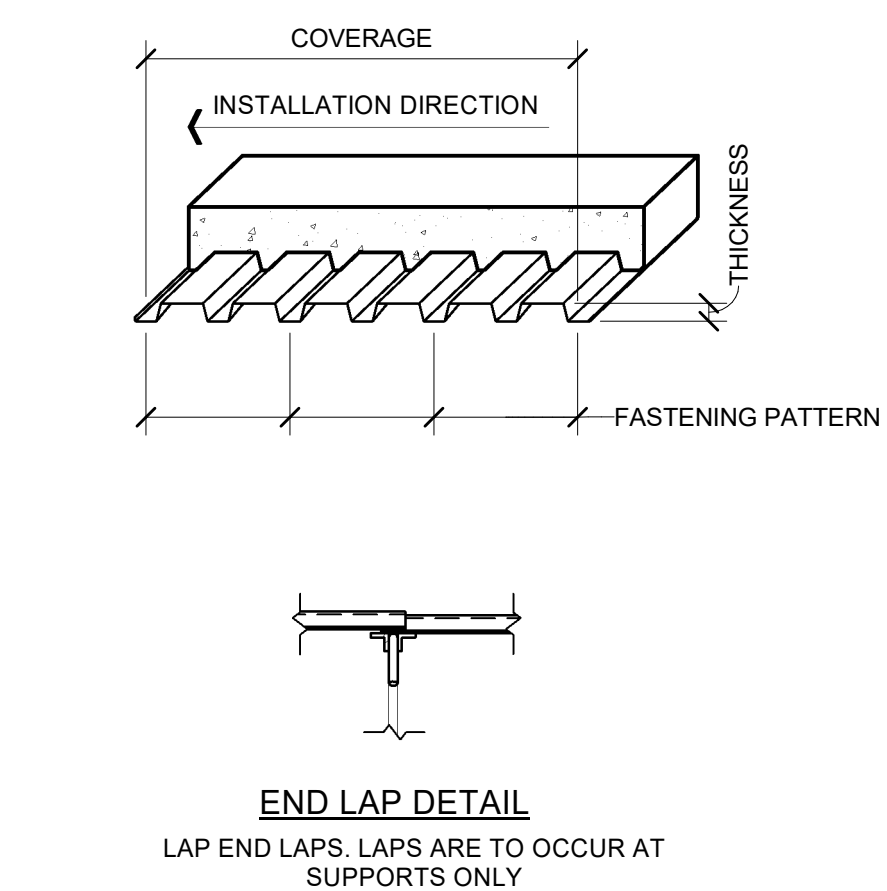
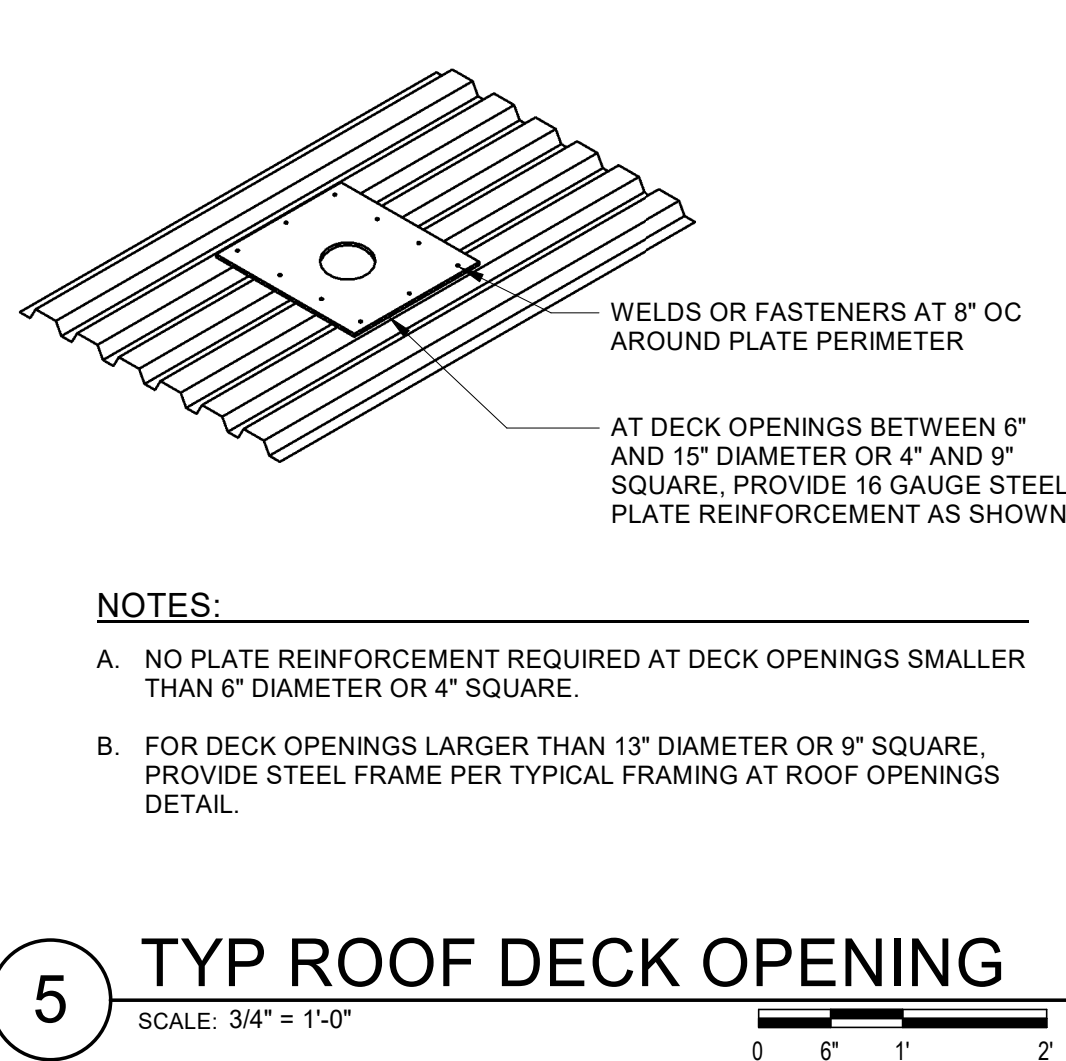
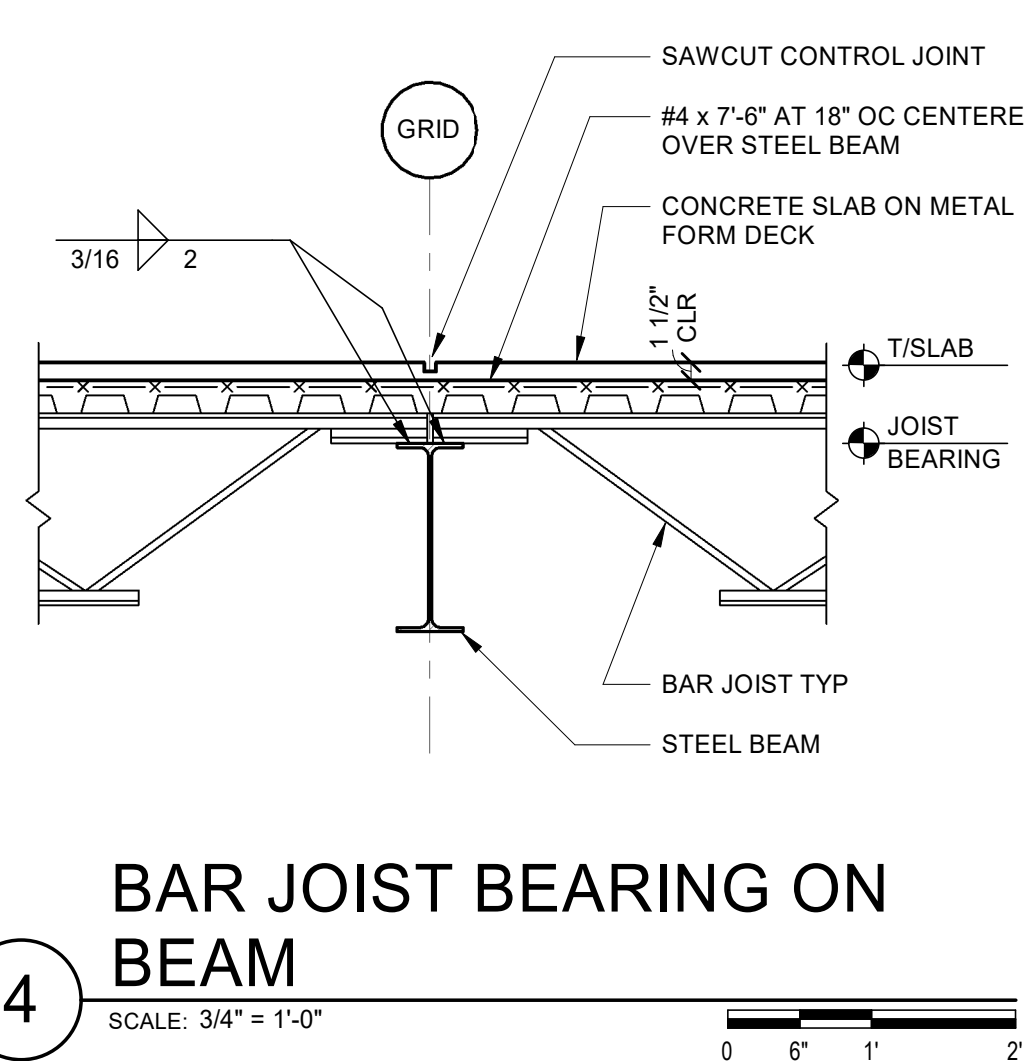
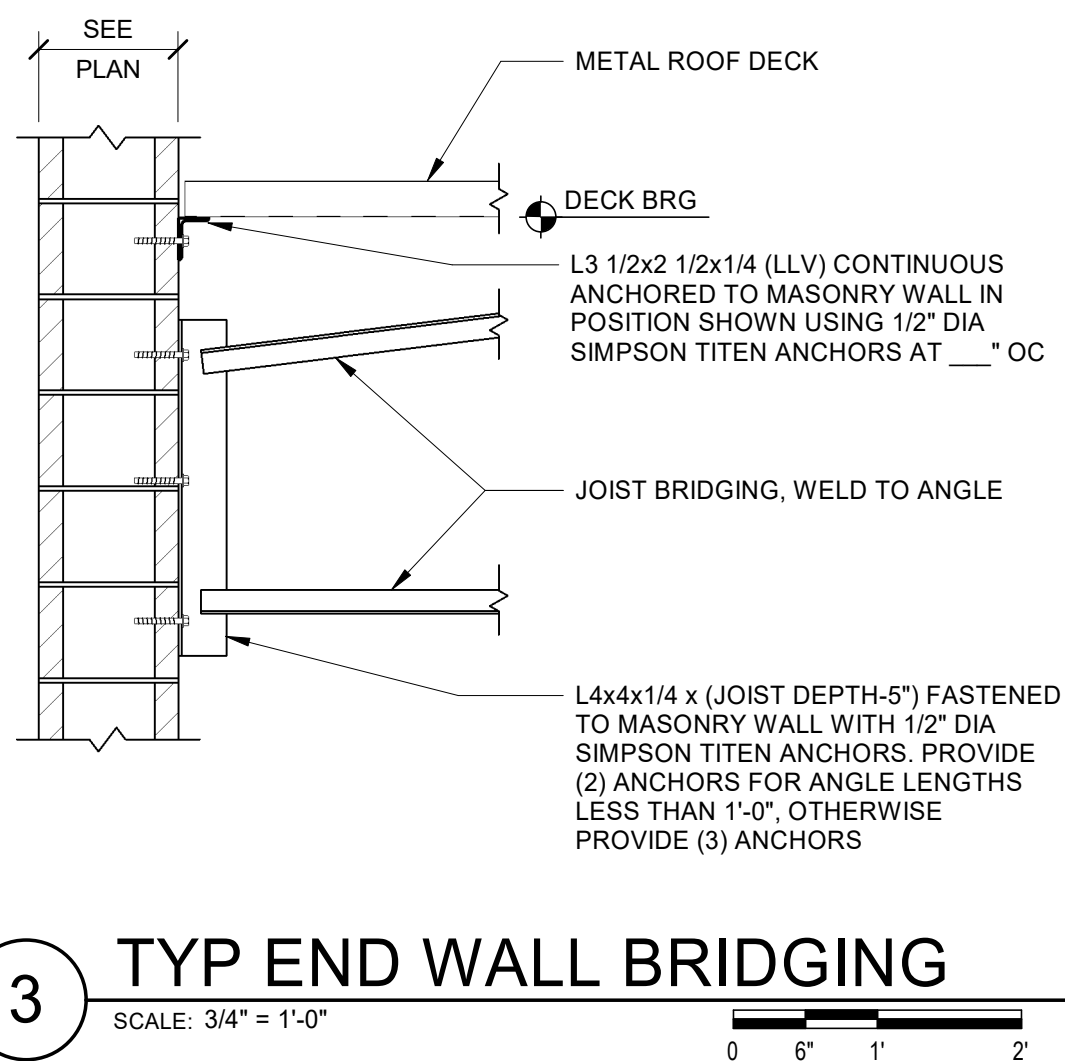
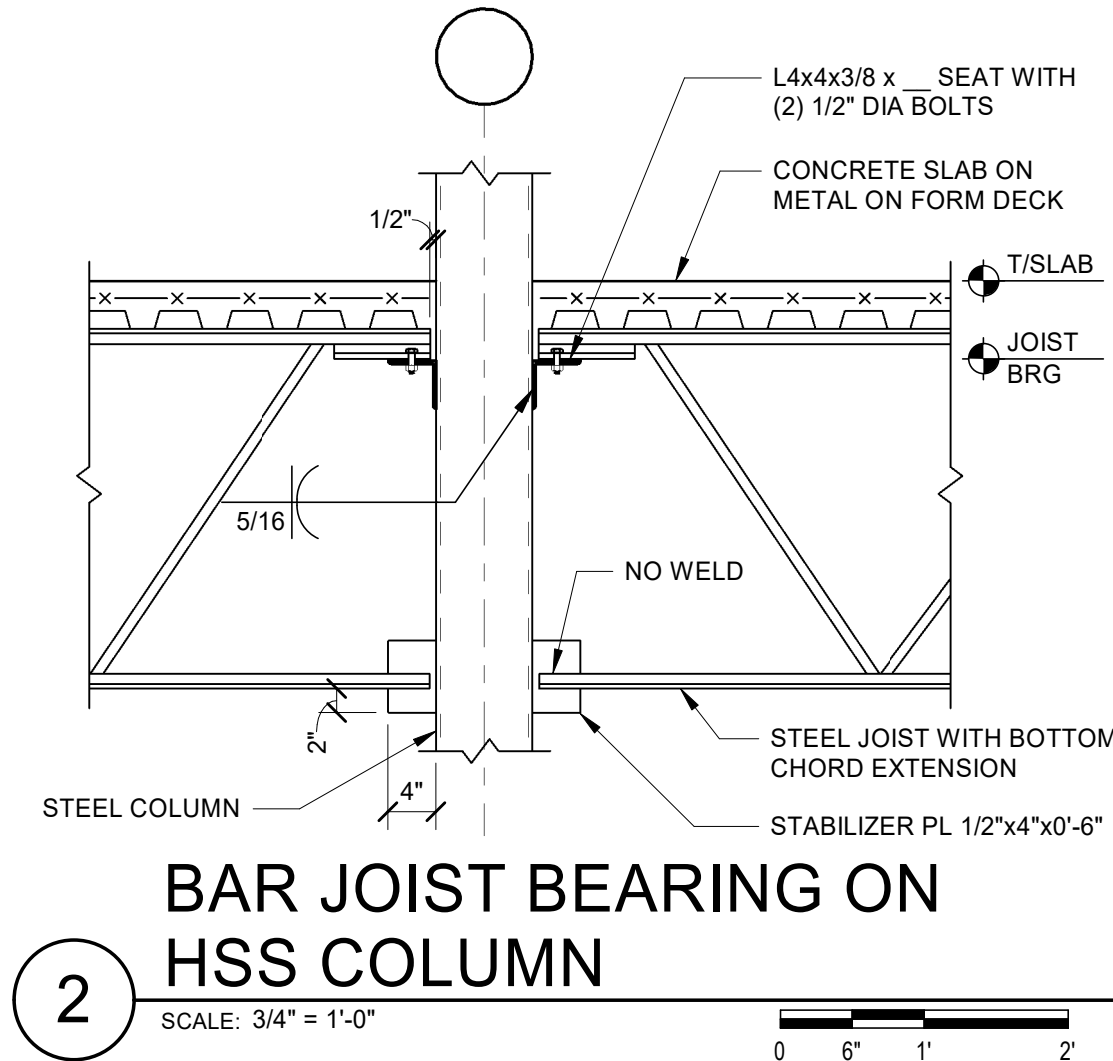
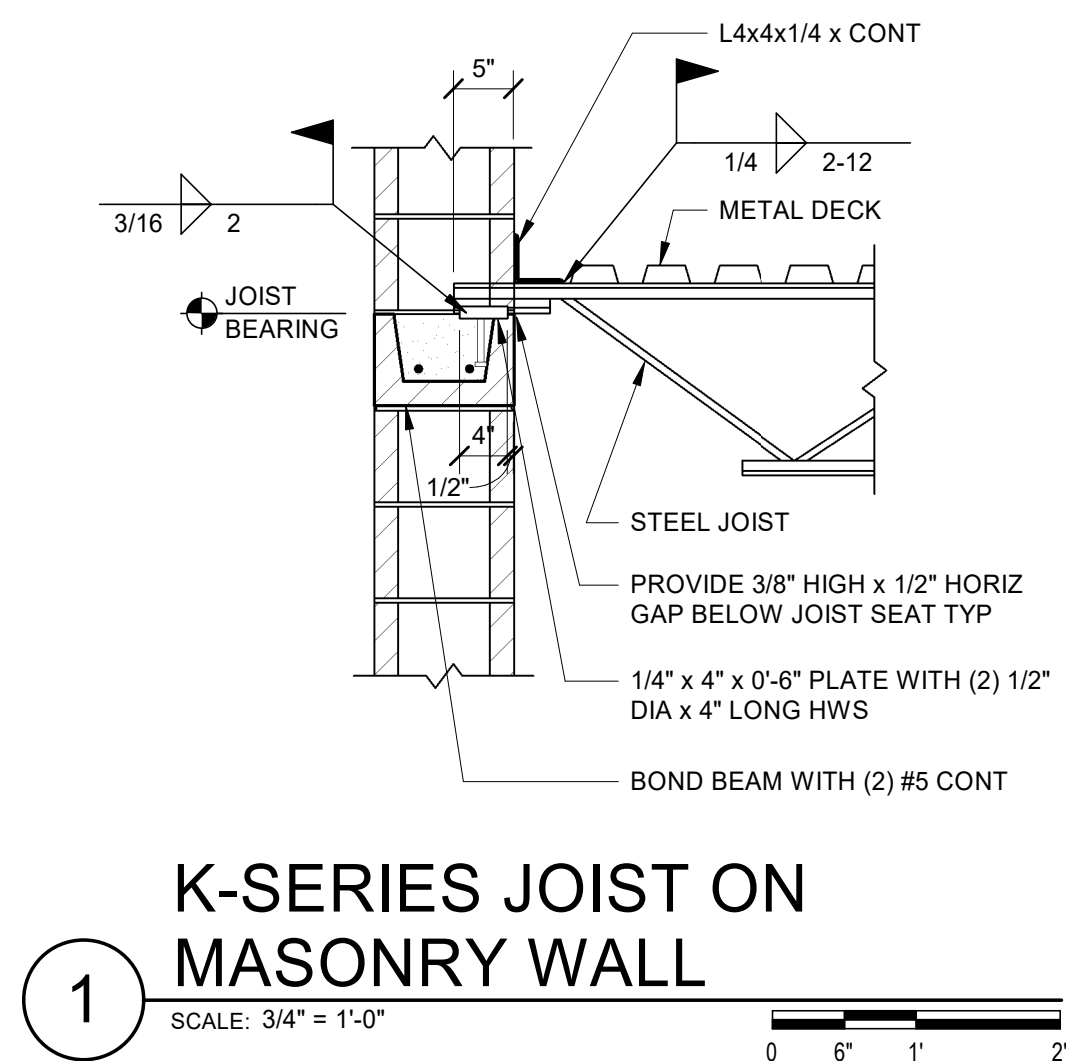
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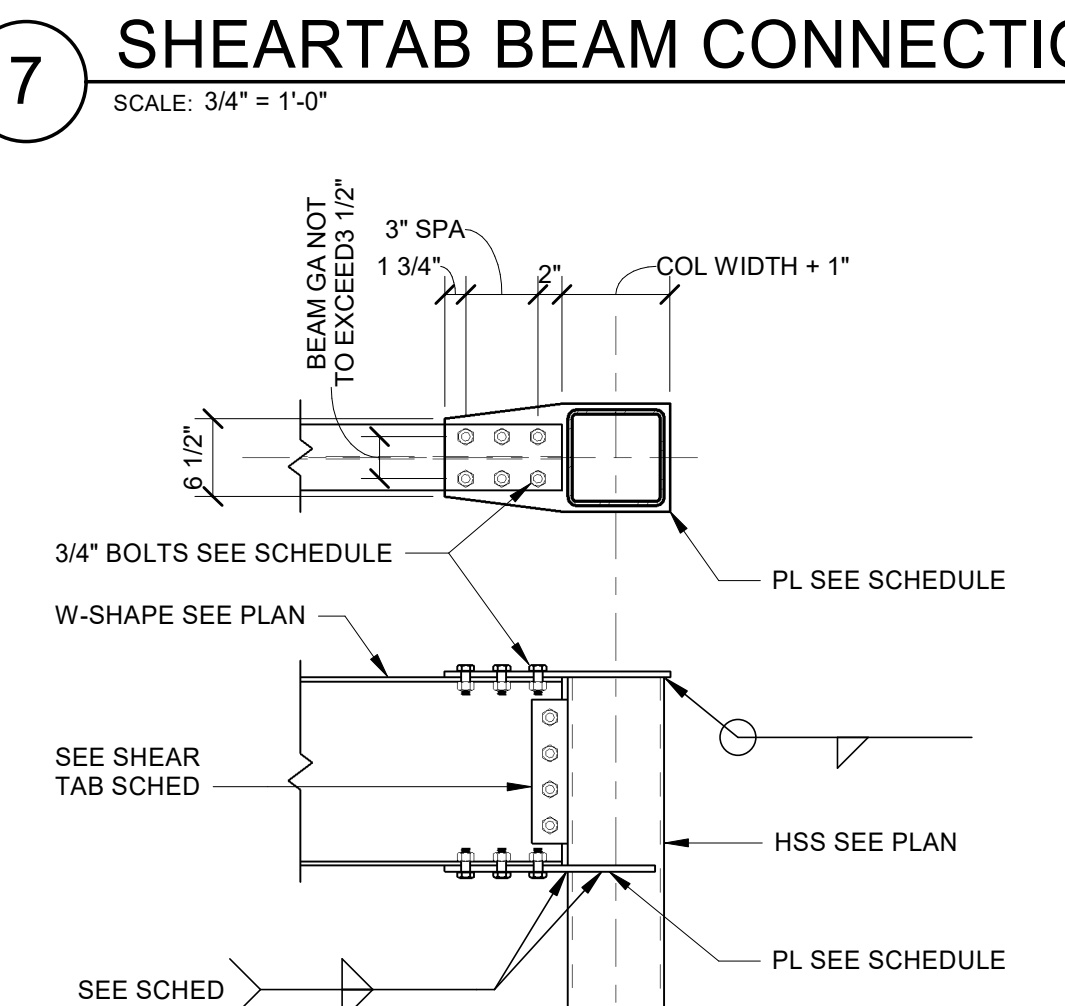
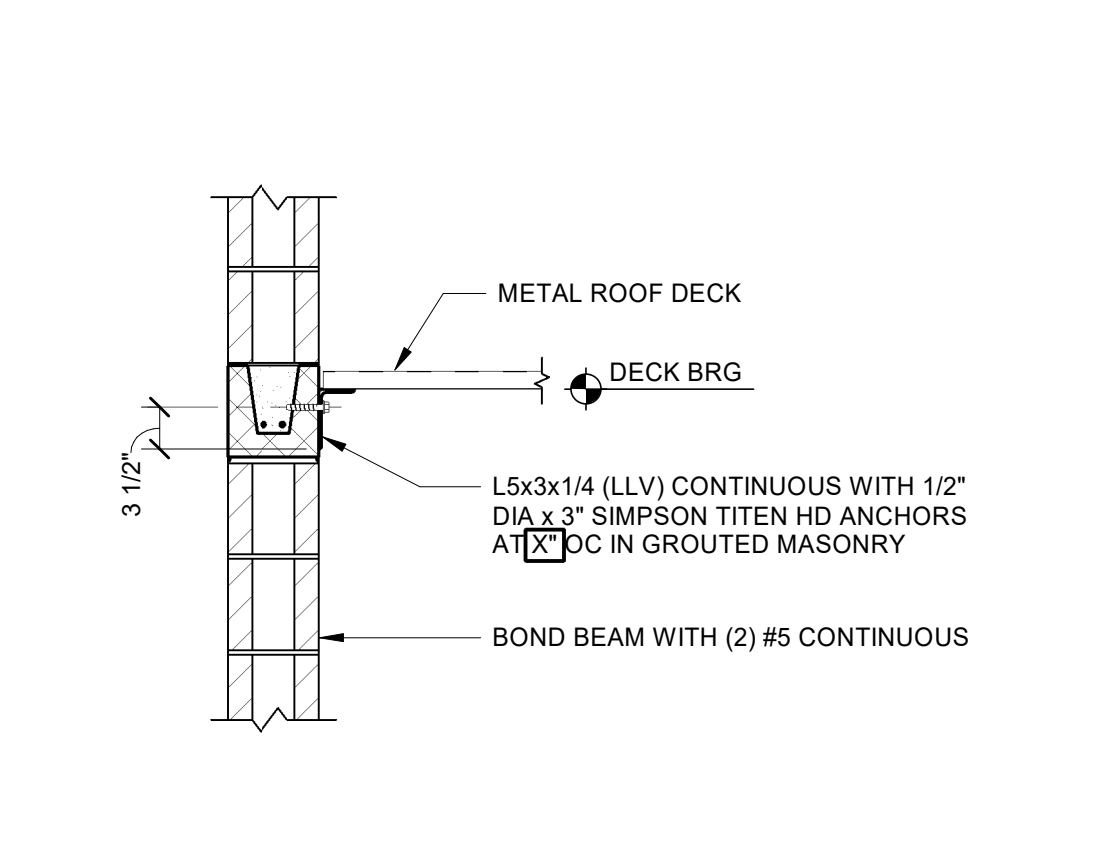
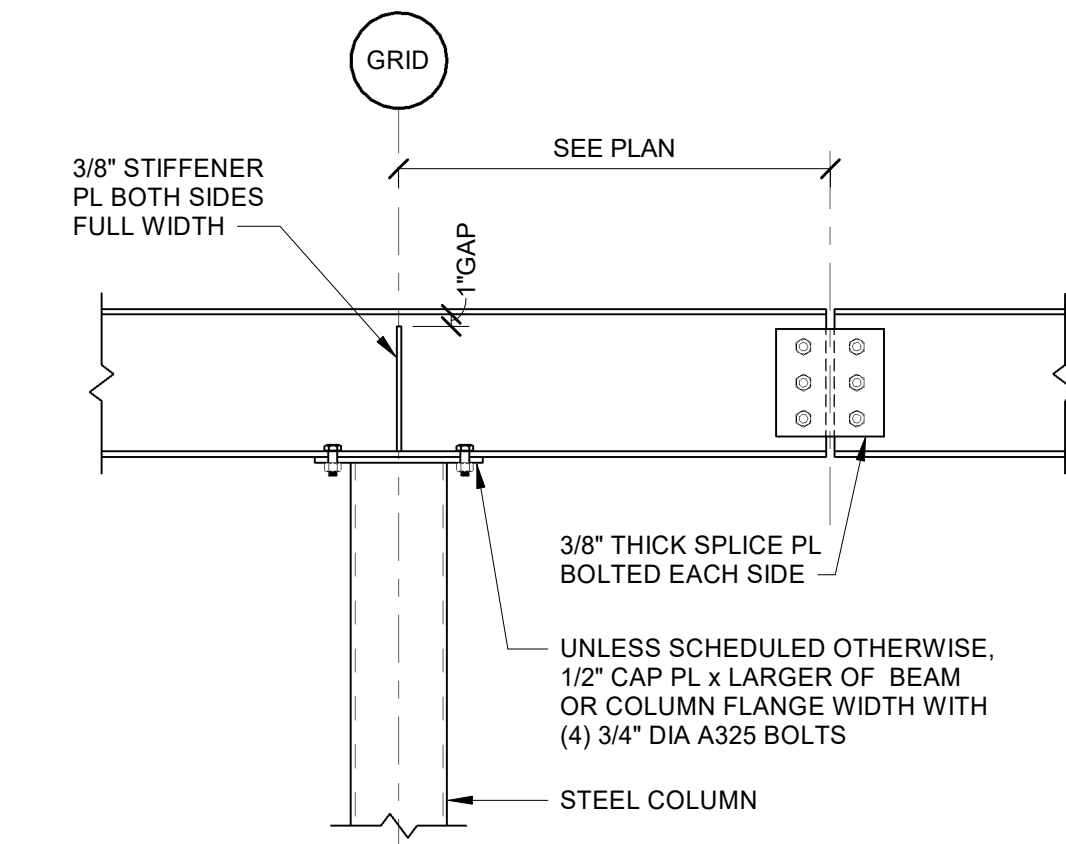
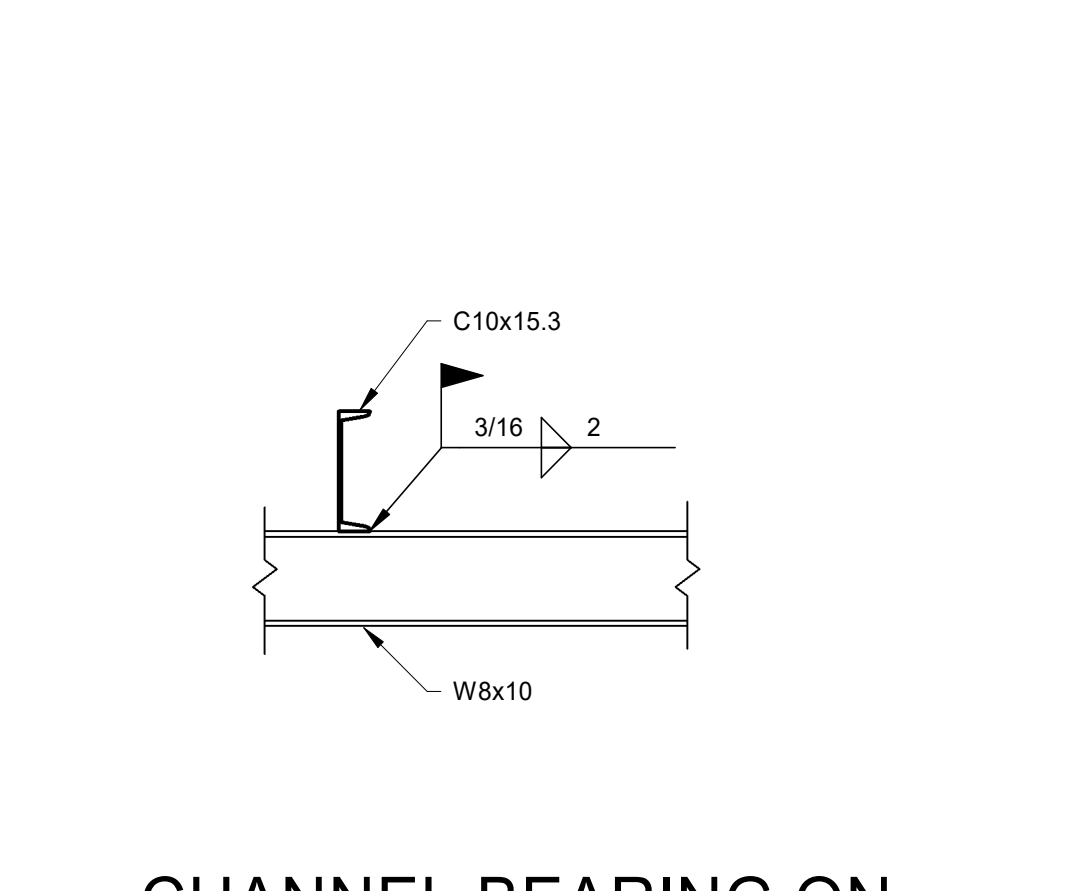
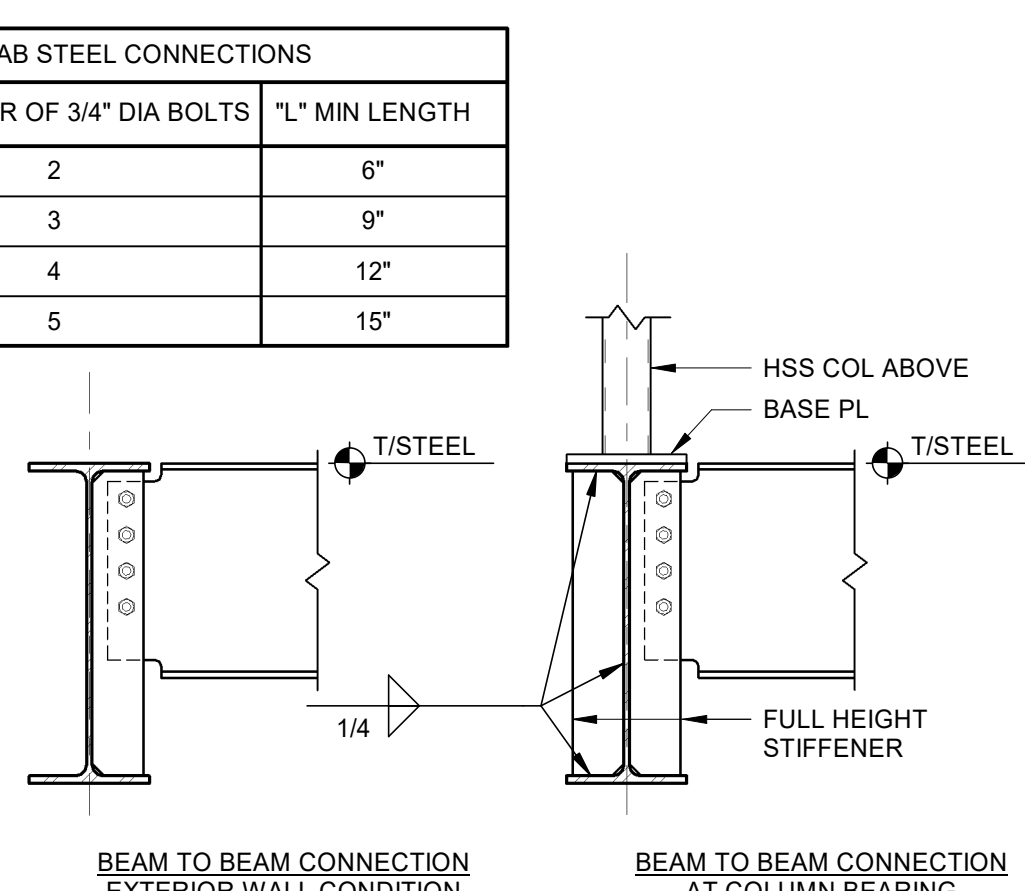
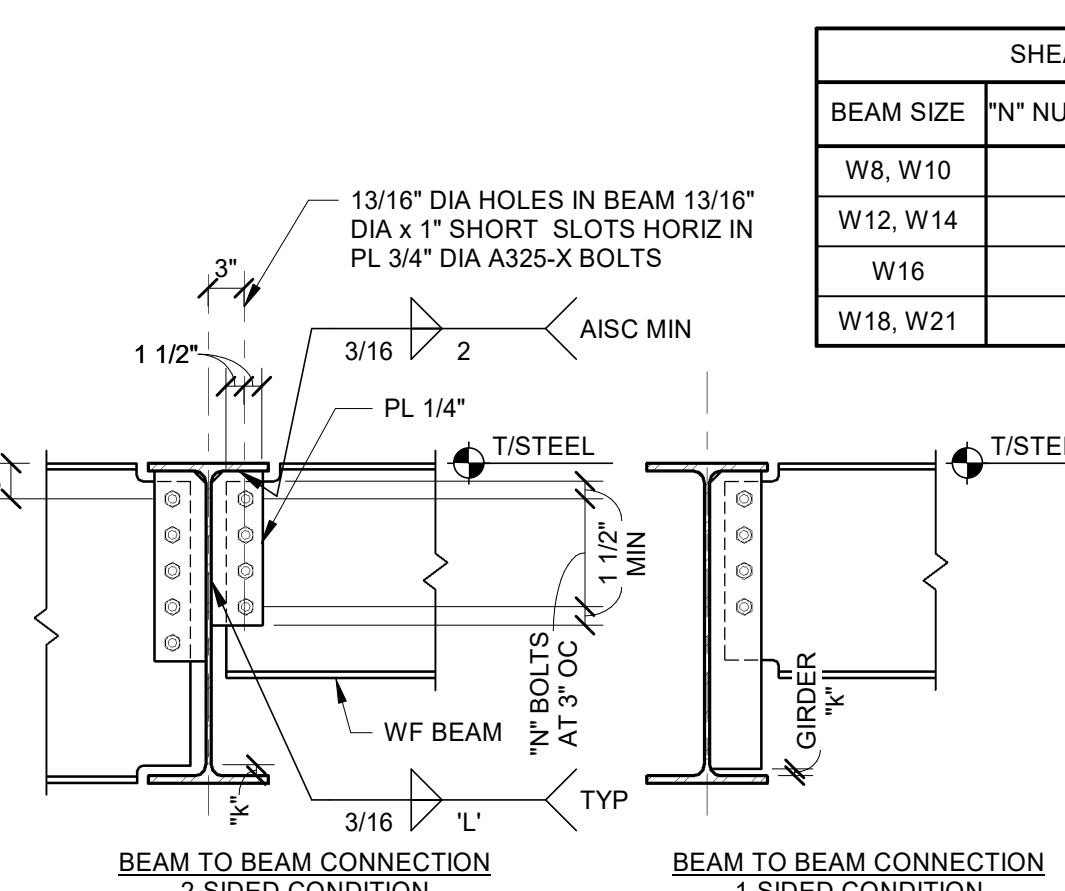
S803



DECK ID	DECK TYPE	GAUGE	DESIGN # OF SPANS	SUPPORT CONN PATTERN	SIDELAP CONN (PER SPAN)	GALV	PAINT	NOTES
D1	1.5B	20	3	36/4-#12 TEK SCREWS	(2) #10 SELF DRILLING SCREWS		X	1, 2, 3
D2	1.5B	18	3	36/5-#8 PUDDLE WELD	(5) #10 SELF DRILLING SCREWS	X		1, 2, 3
D3	1.0C (NON- COMPOSITE)	24	3	33/4-#12 TEK SCREWS	(2) #10 SELF DRILLING SCREWS	X		1, 2, 3
D4	3"VLI (COMPOSITE)	20	3	36/4-5/8" PUDDLE WELDS	#10 SELF-DRILLING SCREWS AT 12" OC	X		1, 2, 3
D5	3" DOVETAIL	18	3	36/4-5/8" PUDDLE WELDS	#10 SELF-DRILLING SCREWS AT 12" OC	X		1, 2, 3

DECK NOTES:

1. ATTACH DECK TO ALL SUPPORTS WITH FASTENERS AND FASTENING PATTERNS INDICATED. FASTEN PERIMETER AT 12" OC.
2. GC CAN SUBMIT ALTERNATE FASTENING (WELDING, SCREWING, POWDER-ACTIVATED FASTENERS, PNEUMATICALLY-DRIVEN FASTENERS) FOR APPROVAL WITH MANUFACTURERS LITERATURE ON EQUAL PRIOR TO USING ALTERNATE.
3. ATTACH PARTIAL SHEETS IN ALL FLUTES.



MOMENT SCHEDULE			
MARK	PLATE THICKNESS	NO. OF BOLTS PER FLANGE	WELD SIZE
MC1	1/2"	4	1/4

